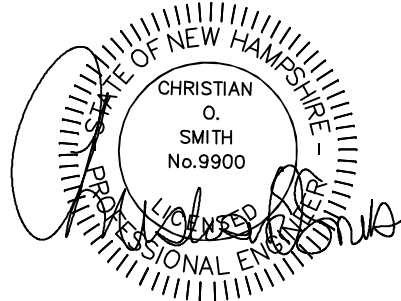


SUMMERWIND PLACE
AGE RESTRICTED
RESIDENTIAL DEVELOPMENT
GREENLAND, NH

CIVIL ENGINEERS:



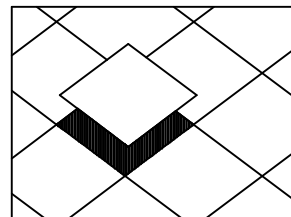
70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860,
FAX: 603-583-4863



WETLAND / SOIL CONSULTANT:

GOVE ENVIRONMENTAL SERVICES INC.
8 CONTINENTAL DRIVE,
BLDG 2 UNIT H
EXETER, NH 03833
1-603-778-0644

LAND SURVEYOR:



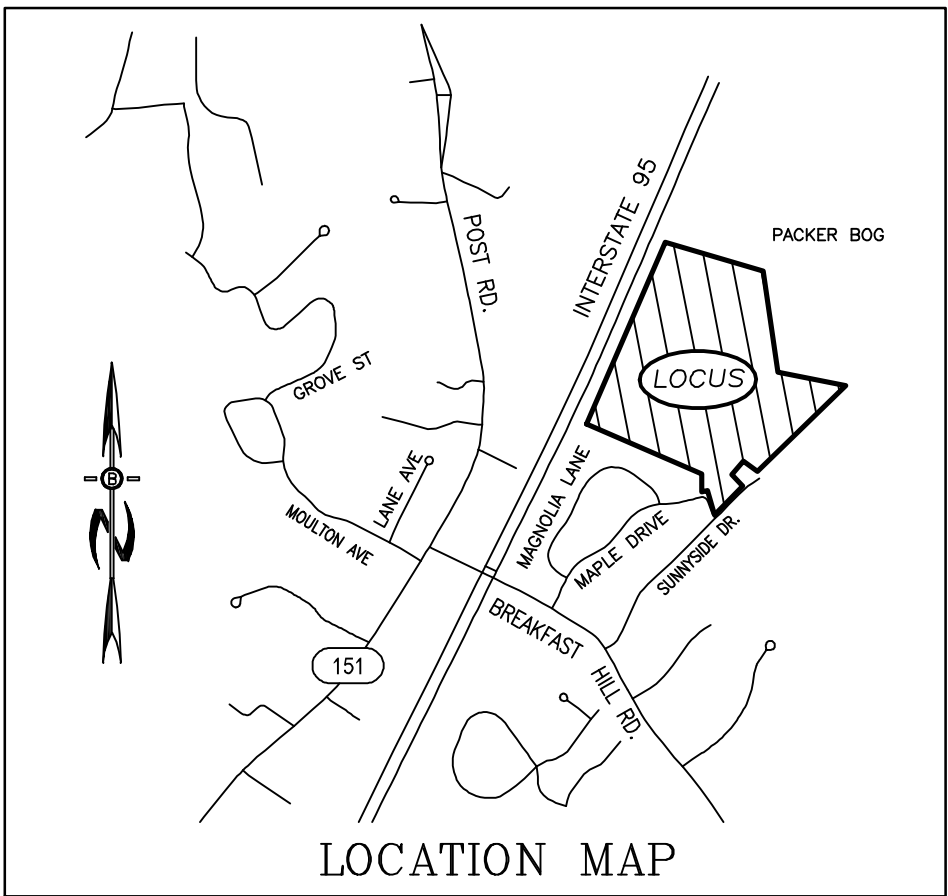
**DOUCET
SURVEY**

Serving Your Professional Surveying & Mapping Needs
102 Kent Place, Newmarket, NH 03857-0163
Voice (603) 659-6560, Data (603) 659-4118

LANDSCAPE ARCHITECT:



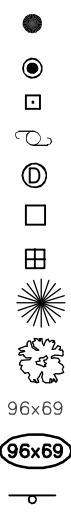
LOCATION MAP



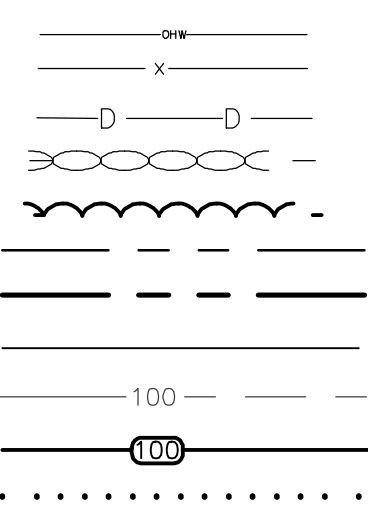
1"=1000'

PLAN SET LEGEND

5/8" REBAR
DRILL HOLE
CONC. BOUND
UTILITY POLE
DRAIN MANHOLE
EXISTING CATCH BASIN
PROPOSED CATCH BASIN
PINES, ETC.
MAPLES, ETC.
EXIST. SPOT GRADE
PROP. SPOT GRADE
SINGLE POST SIGN



OVERHEAD ELEC. LINE
FENCING
DRAINAGE LINE
STONE WALL
TREE LINE
ABUT. PROPERTY LINES
EXIST. PROPERTY LINES
BUILDING SETBACK LINES
EXIST. CONTOUR
PROP. CONTOUR
SOIL LINES



OWNERS OF RECORD
GROVER ELAINE T
55 MAGNOLIA LANE
GREENLAND, NH 03840-2429

COMMUNITY CONGREGATION CHURCH
PO BOX 128
GREENLAND NH 03840-0128

BELL MARGARET A.
53 MAGNOLIA LANE
GREENLAND, NH 03840-2429

HOMEWOOD FARM REALTY TRUST
PO BOX 723597
ATLANTA, GA 31139

PHILBRICK-VICKERY TOWER
12 LAKESHORE DR.
AMESBURY, MA 01913

PHILBRICK-VICKERY TOWER
361 CENTRAL RD.
RYE, NH 03870-2545

REBECCA ANN EASTMAN
135 CHESTER ST.
CHESTER, NH 03036-4333

LINDA M. MCGURIN
77 MAPLE DR.
GREENLAND, NH 03840-2431

DEVELOPER
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, NH 03885

REQUIRED PERMITS

EPA NOI APPROVAL NUMBER:
NHDES SUBDIVISION APPROVAL NUMBER: eSA 2021.....
NHDES ALTERATION OF TERRAIN APPROVAL NUMBER: Aot-...
NHDES PUBLIC WATER SUPPLY...
NHDES SEWER AND SEPTIC APPROVAL...

| REVISIONS: | | DATE: |
|----------------------------------|--|---------|
| REVISIONS PER ENGINEERING REVIEW | | 1/11/22 |
| | | |
| | | |
| | | |
| | | |

INDEX

| | |
|------------------------------------|-------|
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LANDSCAPE PLANS BY OTHERS

KEY TO SOIL TYPES

THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR INFILTRATION REQUIREMENTS BY THE NH DES ALTERATION OF TERRAIN BUREAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP. THE SITE SPECIFIC SOIL SURVEY WAS PRODUCED 29 SEPTEMBER, 2021, AND WAS PREPARED BY JAMES P. GOVE, CSS # 004, OF GOVE ENVIRONMENTAL SERVICES, INC. THE SURVEY AREA IS LOCATED AT TOWER PLACE, GREENLAND, NH. SOILS WERE IDENTIFIED WITH THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, USDA NRCS, DURHAM, NH, ISSUE # 10, JANUARY 2011. THE NUMERIC LEGEND WAS AMENDED TO IDENTIFY THE CORRECT SOIL COMPONENTS OF THE COMPLEX HYDROLOGIC SOIL GROUP FROM KSAT VALUES FOR NEW HAMPSHIRE SOILS, SOCIETY OF SOIL SCIENTISTS OF NEW ENGLAND, SPECIAL PUBLICATION NO. 5, SEPTEMBER, 2009.

SSSM SYM. SSS MAP NAME HISS SYM. HYDROLOGIC SOIL GRP

| | | | |
|---------|---------------------|-----|-----|
| 115 | SCARBORO, MUCK | 611 | D |
| 399 | ROCK OUTCROP | N/A | N/A |
| 400ABAA | UDORTHERENTS, SANDY | 161 | A |
| 513 | NINGRET, FSL | 311 | B |
| 546 | WALPOLE, FSL | 511 | C |

SLOPE PHASE:
B= 0-8%, C= 8-15%, D=15-25% E=25%+

WETLAND NOTES

THE LIMITS OF JURISDICTIONAL WETLANDS AS SHOWN ON THIS PLAN WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC., IN ACCORDANCE WITH:

1. US ARMY CORPS OF ENGINEERS REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, TECHNICAL REPORT ERDC/EL TR-12-1, JANUARY 2012, VERSION 2.0
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 7.0.
3. UNITED STATES DEPARTMENT OF AGRICULTURE (2010). NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, VERSION 2.2.1 (2009).

PREPARED FOR:

JOSEPH FALZONE
7B EMERY LANE
STRATHAM, NH 03885



70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860,
FAX: 603-583-4863

RES-ZONING REQUIREMENTS

DIMENSIONAL REQUIREMENTS: 55' AND OLDER OVERLAY

| | |
|--------------------------|--------|
| MIN. LOT AREA | 15 AC. |
| MIN. FRONTAGE | 50 ft. |
| MIN. FRONT SETBACK | 30 ft. |
| MIN. SIDE SETBACK | 20 ft. |
| MIN. REAR SETBACK | 20 ft. |
| MIN. PERIMETER SETBACK | 25 ft. |
| MIN. BUILDING SEPERATION | 35 ft. |
| MAX. BUILDING HEIGHT | 35 ft. |
| WETLAND SETBACK: | |
| ALL WETLAND: | 50 ft. |
| SURFACE WATERS: | 75 ft. |

OPEN SPACE CALCS:
TOTAL RESIDENTIAL LOT AREA = 67.5 AC.
- 3.77 UTILITY LOTS = 63.7 AC.
REQUIRED OPEN SPACE = 50% OR 31.8 AC.
OPEN SPACE PROVIDED = 45 AC.
MIN. REQUIRED REC. AREA = 30% OR 19.1 AC.
REC. AREA PROVIDED = 21.6 AC.

| | |
|------------------|--|
| REC. AREA UPLAND | |
| WET AREA OPEN | |
| DEVELOPED AREA | |

REVISIONS: DATE:

OVERALL SITE PLAN

PLAN FOR:
RESIDENTIAL DEVELOPMENT
TOWER PLACE
GREENLAND, NH

| | | | |
|-----------|----------|---------|---------|
| DATE: | NOV 2021 | SCALE: | 1"=100' |
| PROJ. NO: | NH-1360 | SHT NO. | 12 |

NOTES:

1. REFERENCE: TAX MAP R7, LOT 3 & 57
TAX MAP R8, LOTS 16 & 17
GREENLAND, NH
D.S. PROJECT NO. 6850
2. TOTAL PARCEL AREA: TAX MAP R7 LOT 3 = 591,151 SQ. FT. OR 11.92 AC.
TAX MAP R8 LOT 16 = 1,042,720± SQ. FT. OR 23.9± AC.
TAX MAP R8 LOT 17 = 1,360,162± SQ. FT. OR 31.68 AC.
TAX MAP R7 LOT 57 = 60,253 SQ. FT. OR 1.38 AC.
3. OWNERS OF RECORD: TAX MAP R7 LOT 3 COMMUNITY CONGREGATION CHURCH
PO BOX 128
GREENLAND, NH 03840-0128
R.C.R.D. BK. 3002, PG. 1130
TAX MAP R8 LOT 16 HOMEWOOD FARM REALTY TRUST
C/O SPECTRASITE
PO BOX 723597
ATLANTA, GA 31139
R.C.R.D. BK 2846 PG. 2800
TAX MAP R8 LOT 17 PHILBRICK-VICKERY
TOWER GREENLAND LLC
12 LAKESHORE DR.
AMESBURY, MA 01913
R.C.R.D. BK. 3267, PG. 763
TAX MAP R7 LOT 57 77 MAPLE DRIVE
LINDA M. MCGURIN
77 MAPLE DRIVE
GREENLAND, NH 03840-2431
R.C.R.D. BK. 3253, PG. 1997
TAX MAP R7 LOT 57 79 MAPLE DRIVE
REBECCA ANN EASTMAN
135 CHESTER ST
CHESTER, NH 03036-4333
R.C.R.D. BK. 2897, PG. 0220
4. FIELD SURVEY PERFORMED BY DOUCET SURVEY DURING APRIL & MAY 2021 USING A TRIMBLE SS7 TOTAL STATION AND A TRIMBLE R12 SURVEY GRADE GPS WITH A TRIMBLE TSC3 DATA COLLECTOR AND A SOKKIA B21 AUTO LEVEL. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.
5. HORIZONTAL DATUM BASED ON NAD83(2011) NEW HAMPSHIRE STATE PLANE COORDINATE ZONE (2800) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK.
6. VERTICAL DATUM IS BASED ON APPROXIMATE NAVD88(GEOD12A) (±.2') DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK.
7. JURISDICTIONAL WETLANDS DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC DURING APRIL 2021 IN ACCORDANCE TO THE:
• U.S. ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1 (JANUARY, 1987)
• REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION (2012).
• NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: NORTHEAST (REGION 1). U.S. FISH AND WILDLIFE SERVICE (2013).
• CODE OF ADMINISTRATIVE RULES. WETLANDS BOARD, STATE OF NEW HAMPSHIRE (CURRENT).
• FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 8.0, (2016) AND (FOR DISTURBED SITES) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 4. NEHSTC (MAY 2017).
8. FLOOD HAZARD ZONE: "X", PER FIRM MAP #33015C0265F, DATED 1/29/21.
9. PROPER FIELD PROCEDURES WERE FOLLOWED IN ORDER TO GENERATE CONTOURS AT 2' INTERVALS. ANY MODIFICATION OF THIS INTERVAL WILL DIMINISH THE INTEGRITY OF THE DATA, AND DOUCET SURVEY. WILL NOT BE RESPONSIBLE FOR ANY SUCH ALTERATION PERFORMED BY THE USER.
10. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON OBSERVED PHYSICAL EVIDENCE AND PAINT MARKS FOUND ON-SITE.
11. THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH AND IN RELATION TO THE CURRENT LEGAL DESCRIPTION, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.
12. WATER BOUNDARIES ARE DYNAMIC IN NATURE AND ARE SUBJECT TO CHANGE DUE TO NATURAL CAUSES SUCH AS EROSION OR ACCRETION.
13. LIDAR BASED CONTOURS SHOWN ON TAX MAP R8 LOT 16 ARE BASED ON PUBLICLY AVAILABLE 2011 NOAA (NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION) DATA.
14. ALL UNDERGROUND UTILITIES (ELECTRIC, GAS, TEL, WATER, SEWER DRAIN SERVICES) ARE SHOWN IN SCHEMATIC FASHION, THEIR PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.

EASEMENT NOTES:

- A. HOMEWOOD FARM REALTY TRUST TO NET&T, R.C.R.D. BOOK 3131, PAGE 2916.
- B. HOMEWOOD FARM REALTY TRUST TO AMERICAN TOWER ASSET SUB II, LLC, R.C.R.D. BOOK 5436, PAGE 2999.
- C. HOMEWOOD FARM REALTY TRUST TO PSNH AND NET&T, R.C.R.D. BOOK 2877, PAGE 2250.
- D. EDITH & RALPH FISHER TO NEW HAMPSHIRE GAS & ELECTRIC COMPANY, R.C.R.D. BOOK 1147, PAGE 473.
- E. GRACE PHILBRICK, WALTER R., WALTER J. & STEPHEN VICKERY TO NEW HAMPSHIRE GAS & ELECTRIC COMPANY, R.C.R.D. BOOK 1175, PAGE 14.
- F. LEASE FROM PHILBRICK-VICKERY TOWER GREENLAND, LLC TO STC FIVE LC, R.C.R.D. BOOK 5388, PAGE 2603. EXACT LIMITS FOR LEASE LAND NOT DEFINED IN DOCUMENT.
- G. GRACE WILCOX TO NEW HAMPSHIRE GAS & ELECTRIC COMPANY, R.C.R.D. BOOK 1147, PAGE 475.
- H. CHARLESFORT DEVELOPMENT, INC. TO TOWN OF GREENLAND, R.C.R.D. BOOK 2707, PAGE 1769. 50' WIDE ROADWAYS AS SHOWN ON PLAN D-15503.
- I. OTHER RIGHTS BENEFITING AND/OR BURDENING THE SUBJECT PARCELS MAY EXIST.

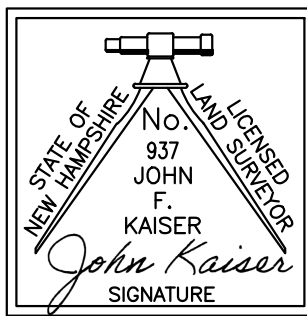
REFERENCE PLANS:

1. "SUBDIVISION OF LAND LOCATED IN GREENLAND, N.H. PREPARED FOR RONALD J COAKLEY" DATED 3/12/86 BY KIMBALL CHASE, R.C.R.D. PLAN D-15503.
2. "SUBDIVISION PLAN OF LAND FOR JOHN A. & DEBORAH D. GENDRON AND REBECCA EASTMAN, 12 & 14 MAPLE DRIVE EXTENSION, COUNTY OF ROCKINGHAM, GREENLAND, N.H." DATED MARCH 27, 1997 BY RICHARD P. MILLETTE AND ASSOCIATES, R.C.R.D. PLAN D-25393.
3. "SUBDIVISION PLAN OF RICHARD W. & MARY J. COOMBS LAND FOR THE NATURE CONSERVANCY, COOMBS FARM ROAD & SUNNYSIDE DRIVE, GREENLAND, NEW HAMPSHIRE" DATED OCTOBER 29, 2002 BY DOUCET SURVEY, INC. R.C.R.D. PLAN D-30430.
4. "STATE OF NEW HAMPSHIRE PLANS OF PROPOSED NEW HAMPSHIRE TURNPIKE LS 1815, TOWNS OF SEABROOK, HAMPTON FALLS, HAMPTON, NORTH HAMPTON, GREENLAND AND CITY OF PORTSMOUTH" DATED AUGUST 27, 1948 AVAILABLE ON THE NHDOT ON-LINE PROJECT VIEWER.

LEGEND

| | |
|-----------|--|
| — | EXISTING LOT LINE |
| - - - | PROPOSED LOT LINE |
| - - - - - | APPROXIMATE ABUTTERS LOT LINE |
| - - - - - | EXISTING EASEMENT LINE |
| - - - - - | EXISTING RIGHT-OF-WAY LINE |
| — 50 — | MAJOR CONTOUR LINE |
| — 52 — | MINOR CONTOUR LINE |
| — 60 — | LIDAR CONTOUR LINE (SEE NOTE 13) |
| ○ ○ ○ ○ ○ | STONE WALL |
| ○ ○ ○ ○ ○ | REMNANT STONE WALL |
| ○ ○ ○ ○ ○ | CHAIN LINK FENCE |
| □ □ □ □ □ | STOCKADE FENCE |
| X X X X X | WIRE FENCE |
| — OHW — | OVERHEAD WIRE |
| ===== | CULVERT |
| — E — | ELECTRIC LINE |
| — T — | TELEPHONE LINE |
| — C — | CABLE/INTERNET LINE |
| ~~~~~ | TREE LINE |
| ~~~~~ | SHRUB LINE |
| - - - - - | EDGE OF DELINEATED WETLAND |
| - - - - - | EDGE OF DELINEATED VERY POORLY DRAINED WETLAND |
| - - - - - | WATERCOURSE |
| | WETLAND AREA |
| | PILE |

| | |
|---|---------------------------|
| □ | BOUND FOUND (BND. FND.) |
| ○ | DRILL HOLE FOUND (D.H.F.) |
| ○ | PIPE/ROD FOUND |
| ○ | UTILITY POLE |
| ○ | UTILITY POLE & GUY WIRE |
| ○ | TRANSMISSION LINE POLE |
| ○ | PAD MOUNTED TRANSFORMER |
| ○ | ELECTRIC BOX |
| ○ | CABLE BOX |
| ○ | UNIDENTIFIED UTILITY BOX |
| ○ | MAIL BOX |
| ○ | DECIDUOUS TREE |
| ○ | WATER MANHOLE |
| ○ | DRAINAGE FLOW DIRECTION |
| ○ | TYPICAL |
| ○ | CONC. |
| ○ | GRAN. |
| ○ | HDWL |
| ○ | I.P.F. |
| ○ | D.H. |
| ○ | NHHB |
| ○ | TH |
| ○ | EP |
| ○ | RCP |
| ○ | CMP |
| ○ | VERNAL POOL |



ABUTTERS

TAX MAP R7 LOT 8F
42 SUNNYSIDE DRIVE
MICHAEL G. SMITH
42 SUNNYSIDE DRIVE
GREENLAND, NH 03840
R.C.R.D. BK. 5526, PG. 0129

TAX MAP R7 LOT 8G
48 SUNNYSIDE DRIVE
PETER J. STREBEL
48 SUNNYSIDE DRIVE
GREENLAND, NH 03840
R.C.R.D. BK. 5928, PG. 0445

TAX MAP R7 LOT 8H
54 SUNNYSIDE DRIVE
SHAWN MCCOULOUGH REVOCABLE TRUST
54 SUNNYSIDE DRIVE
GREENLAND, NH 03840
R.C.R.D. BK. 5989, PG. 0430

TAX MAP R7 LOT 8J
60 SUNNYSIDE DRIVE
JARDINE FAMILY REVOC TRUST OF 2008
60 SUNNYSIDE DRIVE
GREENLAND, NH 03840
R.C.R.D. BK. 4907, PG. 1752

TAX MAP R7 LOT 56
66 MAPLE DRIVE
CHLOE C. KIMBALL
66 MAPLE DRIVE
GREENLAND, NH 03840
R.C.R.D. BK. 5717, PG. 0581

TAX MAP R7 LOT 56
68 MAPLE DRIVE
LORI MAY PHILBRICK
68 MAPLE DRIVE
GREENLAND, NH 03840-2431
R.C.R.D. BK. 2889, PG. 2397

TAX MAP R7 LOT 57A
BRYAN & KATHERINE ROBERTS
55 SUNNYSIDE DRIVE
GREENLAND, NH 03840
R.C.R.D. BK. 5717, PG. 438

TAX MAP R7 LOT 57A
57 SUNNYSIDE DRIVE
BRADFORD J. GANNING
57 SUNNYSIDE DRIVE
GREENLAND, NH 03840-2436
R.C.R.D. BK. 3372, PG. 1067

TAX MAP R7 LOT 58
71 MAPLE DRIVE
ROBERT A. HERSEY &
CINDY A. MONCZEWSKI
71 MAPLE DRIVE
GREENLAND, NH 03840-2431
R.C.R.D. BK. 2906, PG. 506

TAX MAP R7 LOT 58
73 MAPLE DRIVE
ELYSE A. DONNELLY-KATSANOS
PO BOX 808
GREENLAND, NH 03840-0806
R.C.R.D. BK. 2890, PG. 2122

TAX MAP R7 LOT 59
69 MAGNOLIA DRIVE
RENEE YVONNE WOODS &
JOSEPH ROBERT WOODS
69 MAGNOLIA DRIVE
GREENLAND, NH 03840-2431
R.C.R.D. BK. 2906, PG. 506

TAX MAP R7 LOT 59
71 MAGNOLIA LN
JUDITH LYONS
52 ALDERWOOD DR
STRATHAM, NH03885
R.C.R.D. BK. 5993, PG. 1853

TAX MAP R7 LOT 60
61 MAGNOLIA LANE
T & J REVOCABLE TRUST
THOMAS & JENNIFER PIERCE, TRUSTEES
PO BOX 542
NORTH HAMPTON, NH 03862
R.C.R.D. BK. 4795, PG. 1760

TAX MAP R7 LOT 60
63 MAGNOLIA LANE
T & J REVOCABLE LIVING TRUST
THOMAS & JENNIFER PIERCE, TRUSTEES
16 FIELDING LANE
HAMPTON, NH 03842
R.C.R.D. BK. 5597, PG. 2776

TAX MAP R7 LOT 61
55 MAGNOLIA LANE
MARGARET A. BELL
53 MAGNOLIA LANE
GREENLAND, NH 03840-2429
R.C.R.D. BK. 2899, PG. 760

TAX MAP R7 LOT 61
55 MAGNOLIA LANE
ELAINE GROVER
55 MAGNOLIA LANE
GREENLAND, NH 03840-2429
R.C.R.D. BK. 3705, PG. 1645

TAX MAP R7 LOT 62
47-49 MAGNOLIA LANE
DAVID LEVIN
9 MCLAUGHLIN DRIVE
RYE, NH 03870
R.C.R.D. BK. 5114, PG. 1873

TAX MAP R7 LOT 70
50 MAGNOLIA LANE
DIANE M. CARR
50 MAGNOLIA LANE
GREENLAND, NH03840
R.C.R.D. BK. 5995, PG. 0233

TAX MAP R7 LOT 70
52 MAGNOLIA LANE
ERIC P. CHASSE
52 MAGNOLIA LANE
GREENLAND, NH 03840
R.C.R.D. BK. 5995, PG. 2238

TAX MAP R8 LOT 12
TOWN OF GREENLAND
PO BOX 100
GREENLAND, NH 03840-0100
R.C.R.D. BK. 2346, PG. 1979

TAX MAP R8 LOT 13
TOWN OF GREENLAND
PO BOX 100
GREENLAND, NH 03840-0100
R.C.R.D. BK. 2346, PG. 1000

TAX MAP R8 LOT 15
STATE OF NEW HAMPSHIRE
NEW HAMPSHIRE DOT TURNPIKE DIVISION
PO BOX 389
HOOKSETT, NH 03106-0389
R.C.R.D. BK. 1106, PG. 227

TAX MAP R8 LOT 18
THE NATURE CONSERVANCY
22 BRIDGE STREET, 4TH FLOOR
CONCORD, NH 03301
R.C.R.D. BK. 3948, PG. 101

ABUTTERS ACROSS I-95

TAX MAP U1 LOT 1
271 POST ROAD
DEBORAH M. & RONALD K. HUSSEY
PO BOX 413
GREENLAND, NH 03840-0413
R.C.R.D. BK. 3101, PG. 2945

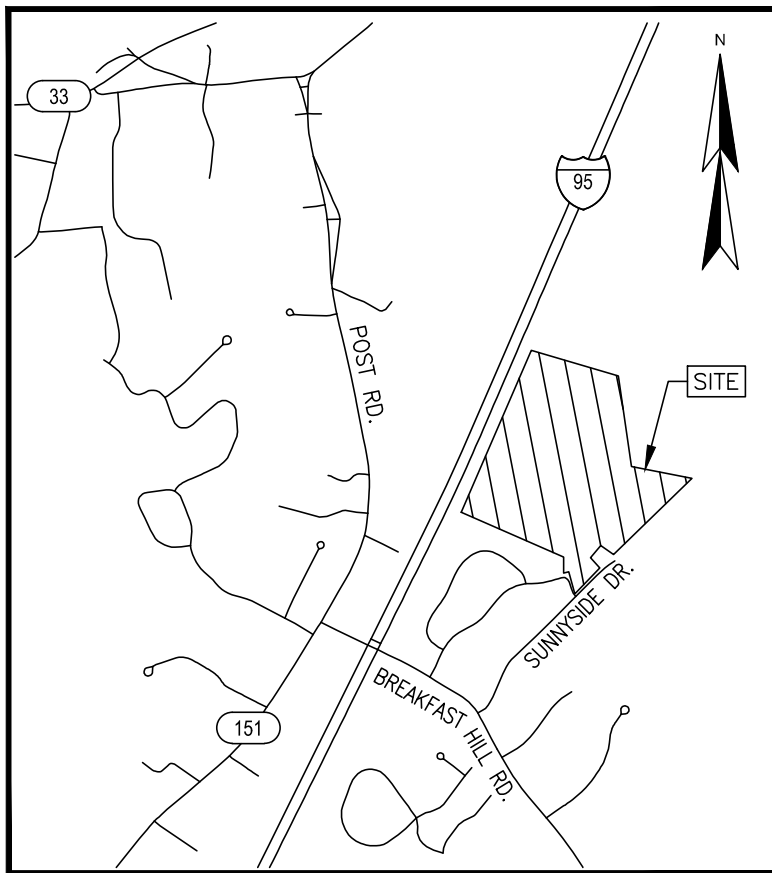
TAX MAP U2 LOT 3
145 POST ROAD
TOWN OF GREENLAND
PO BOX 100
GREENLAND, NH 03840-0100
R.C.R.D. BK. 2771, PG. 2841

TAX MAP U2 LOT 15
261 POST ROAD
EDWARD J. HARRIS JR
261 POST ROAD
GREENLAND, NH 03840
R.C.R.D. BK. 3765, PG. 1046

TAX MAP U2 LOT 15A
6 HAINES BROOK FARM LANE
JODIE ELIZABETH JEMING
6 HAINES BROOK FARM LANE
GREENLAND, NH 03840
R.C.R.D. BK. 5986, PG. 2496

TAX MAP U2 LOT 15A
8 HAINES BROOK FARM LANE
MARK D. ECKSTEIN
8 HAINES BROOK FARM LANE
GREENLAND, NH 03840
R.C.R.D. BK. 4791, PG. 1235

TAX MAP U3 LOT 8B
TOWN OF GREENLAND
PO BOX 100
GREENLAND, NH 03840-0100
R.C.R.D. BK. 4225, PG. 0789



LOCATION MAP (n.t.s.)



EXISTING CONDITONS PLAN
LANDS OF
COMMUNITY CONGREGATION CHURCH
(TAX MAP R7 LOT 3)
LINDA MCGURIN & REBECCA EASTMAN
(TAX MAP R7 LOT 57)
PHILBRICK-VICKERY TOWER
GREENLAND LLC
(TAX MAP R8 LOT 17)
HOMEWOOD FARM REALTY TRUST
(TAX MAP R8 LOT 16)
TOWER PLACE, MAGNOLIA LANE,
MAPLE DRIVE & SUNNYSIDE DRIVE
GREENLAND, NEW HAMPSHIRE

| NO. | DATE | DESCRIPTION | BY |
|-----|------|-------------|----|
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

| | |
|--------------------|--------------------|
| DRAWN BY: M.T.L. | DATE: MAY 14, 2021 |
| CHECKED BY: J.F.K. | DRAWING NO. 6850A |
| JOB NO. 6850 | SHEET 1 |

 **DOUCET SURVEY**
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PURSUANT TO RSA 676:18, III:

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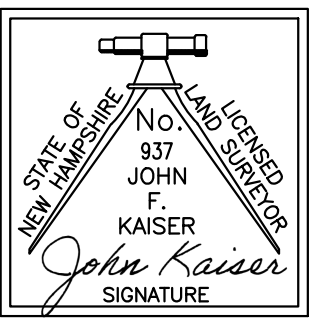
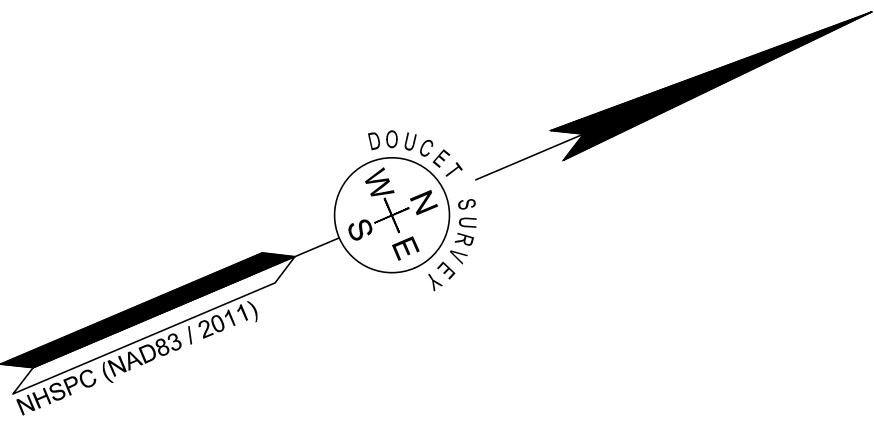
John Kaiser L.L.S. #937
11/5/21 DATE

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| LINE TABLE | | |
|------------|-------------|----------|
| LINE | BEARING | DISTANCE |
| L1 | N66°45'37"W | 63.72' |
| L2 | N66°10'17"W | 29.74' |
| L3 | S41°45'48"E | 39.22' |
| L4 | S72°31'38"W | 50.05' |

L=383.55'
R=23090.00'
Δ=000°57'06"
CB=N24°53'14"E
CL=383.55'

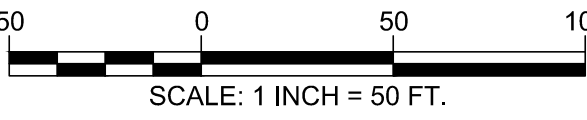
L=414.87'
R=23090.00'
Δ=001°01'46"
CB=N23°53'47"E
CL=414.86'



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EXISTING CONDITONS PLAN
LANDS OF
COMMUNITY CONGREGATION CHURCH
(TAX MAP R7 LOT 3)
LINDA MCGURIN & REBECCA EASTMAN
(TAX MAP R7 LOT 57)
PHILBRICK-VICKERY TOWER
GREENLAND LLC
(TAX MAP R8 LOT 17)
HOMWOOD FARM REALTY TRUST
(TAX MAP R8 LOT 16)
TOWER PLACE, MAGNOLIA LANE,
MAPLE DRIVE & SUNNYSIDE DRIVE
GREENLAND, NEW HAMPSHIRE

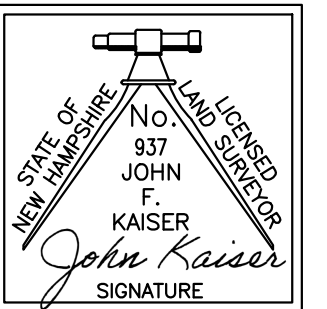
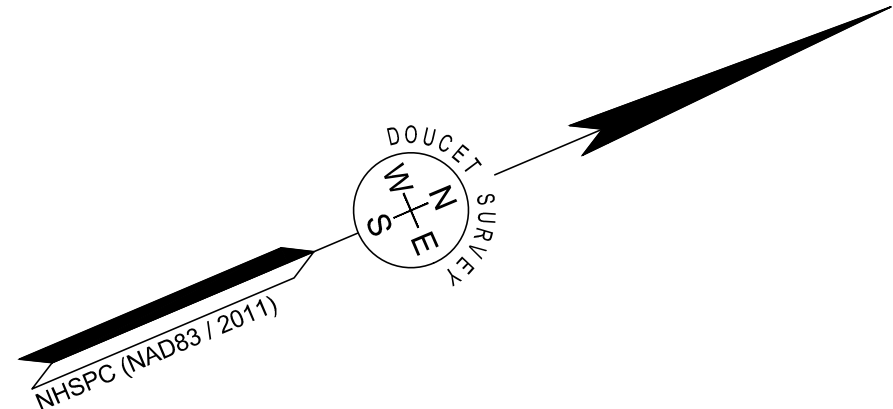
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| DRAWN BY: | M.T.L. | DATE: | MAY 14, 2021 |
| CHECKED BY: | J.F.K. | DRAWING NO. | 6850A |
| JOB NO. | 6850 | SHEET | 2 |

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C:\E:\NAME\CL\DWG\05\142531\NewMarket\6850A.dwg PLOTTED: Friday, November 05, 2021 1:12:39pm



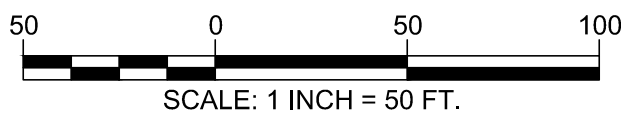
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John Kaiser L.L.S. #937
11/5/21 DATE

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EXISTING CONDITONS PLAN
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COMMUNITY CONGREGATION CHURCH
(TAX MAP R7 LOT 3)

LINDA MCGURIN & REBECCA EASTMAN
(TAX MAP R7 LOT 57)

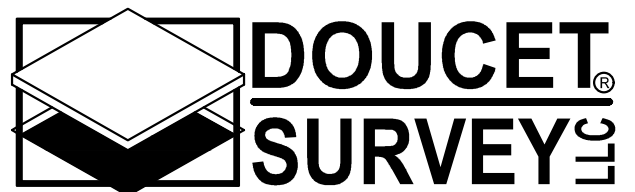
PHILBRICK-VICKERY TOWER
GREENLAND LLC

HOMWOOD FARM REALTY TRUST

(TAX MAP R8 LOT 16)
TOWER PLACE, MAGNOLIA LANE,
MAPLE DRIVE & SUNNYSIDE DRIVE
GREENLAND, NEW HAMPSHIRE

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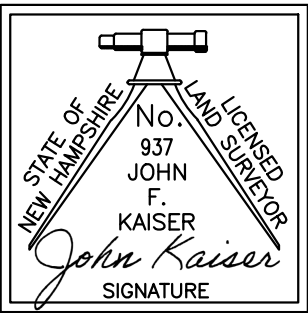
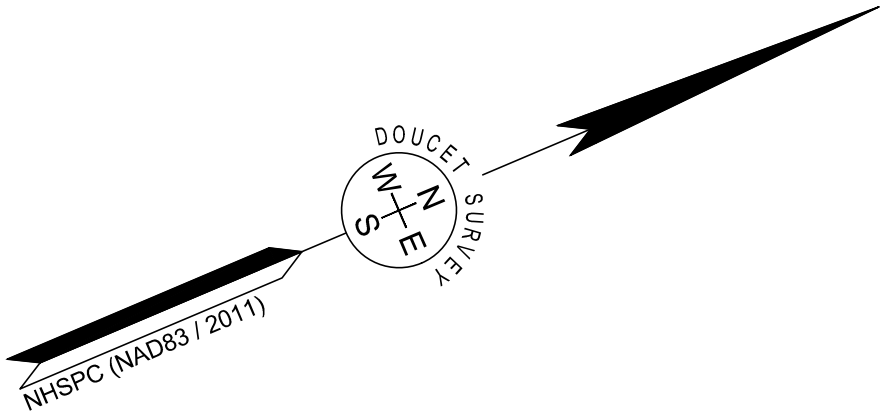
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| DRAWN BY: M.T.L. | DATE: MAY 14, 2021 |
| CHECKED BY: J.F.K. | DRAWING NO. 6850A |
| JOB NO. 6850 | SHEET 3 |



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MATCH LINE SHEET 2
SHEET 4



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LINDA MCGURIN & REBECCA EASTMAN
(TAX MAP R7 LOT 57)
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GREENLAND LLC
(TAX MAP R8 LOT 17)
HOMEWOOD FARM REALTY TRUST
(TAX MAP R8 LOT 16)
TOWER PLACE, MAGNOLIA LANE,
MAPLE DRIVE & SUNNYSIDE DRIVE
GREENLAND, NEW HAMPSHIRE

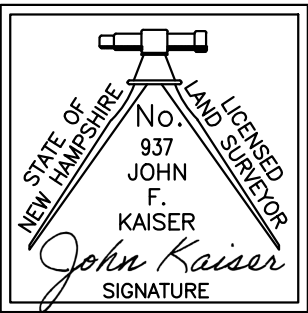
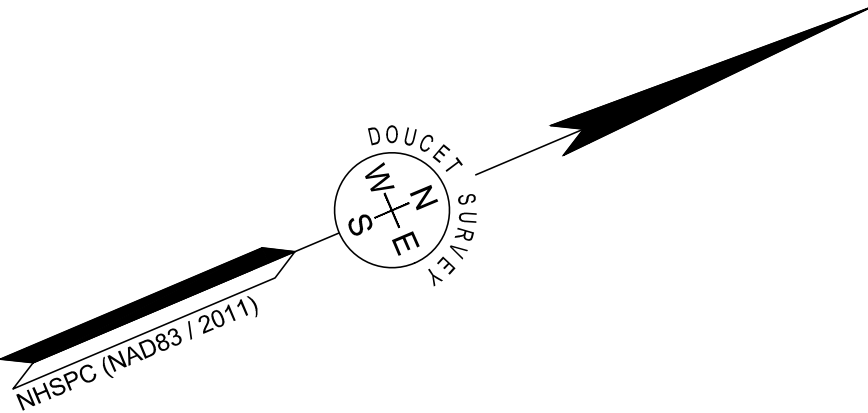
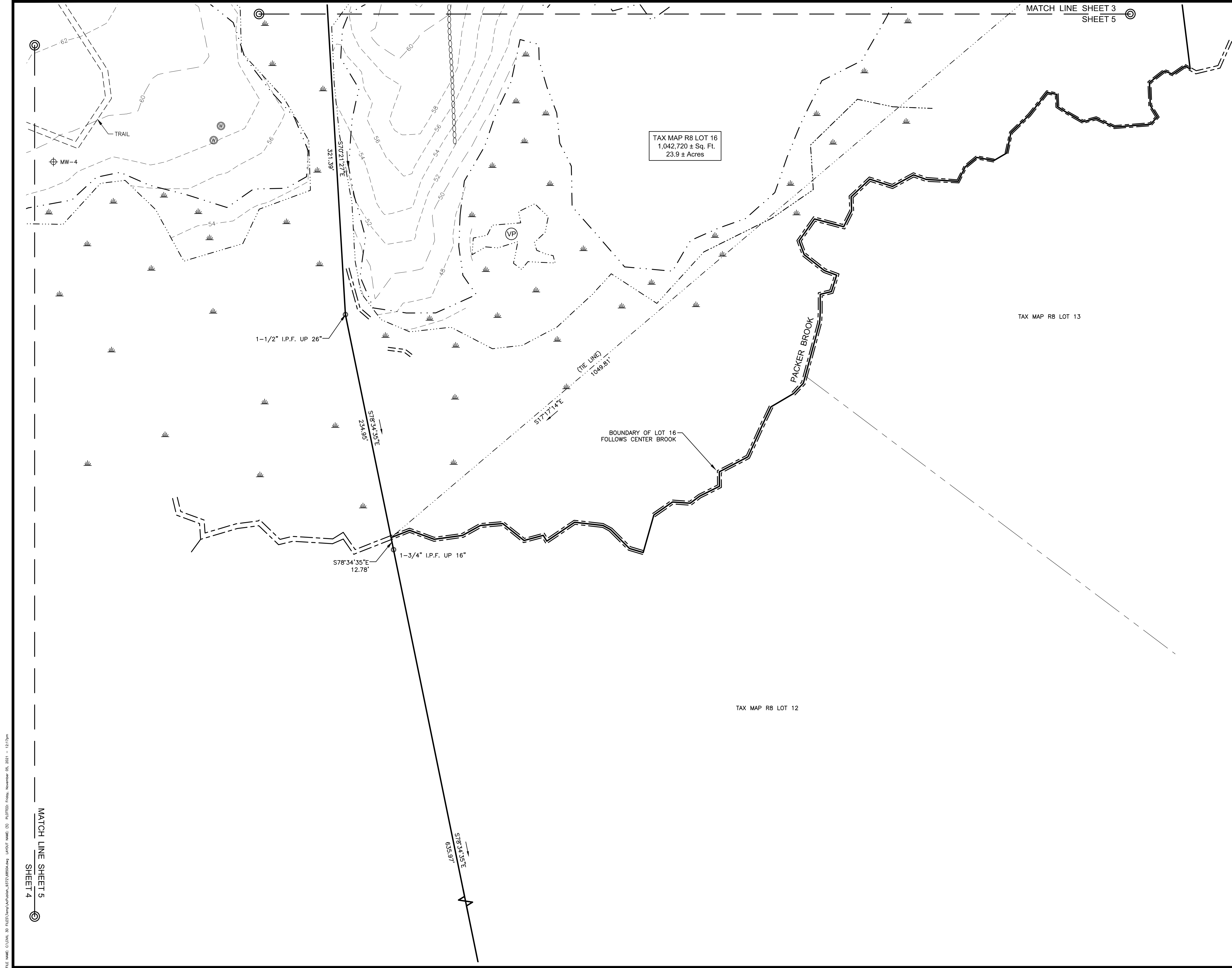
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| DRAWN BY: | M.T.L. | DATE: | MAY 14, 2021 |
| CHECKED BY: | J.F.K. | DRAWING NO. | 6850A |
| JOB NO. | 6850 | SHEET | 4 |

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C:\E:\NAME\CL\DWG\08_14\2021\NewMarket\6850A.dwg LAYOUT: NAME: 151 PLOTTED: Friday, November 05, 2021 12:17pm

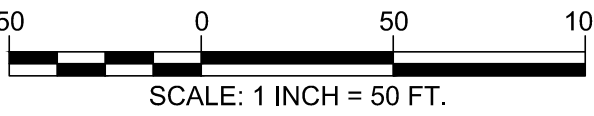


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GREENLAND LLC
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TOWER PLACE, MAGNOLIA LANE,
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| JOB NO. | 6850 | SHEET | 5 |

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NOTES:

- REFERENCE:

TAX MAP R7, LOTS 3, 2J & 61
TAX MAP R8, LOTS 16 & 17
GREENLAND, NH
D.S. PROJECT NO. 6850
- TOTAL PARCEL AREA EXISTING: TAX MAP R7 LOT 3 = 591,151 SQ. FT. OR 11.92 AC.
TAX MAP R8 LOT 16 = 1,042,720± SQ. FT. OR 23.9± AC.
TAX MAP R8 LOT 17 = 1,380,162 SQ. FT. OR 31.68 AC.
TAX MAP R7 LOT 61/2J = 68,378 SQ. FT. OR 1.57 AC.
- OWNERS OF RECORD: TAX MAP R7 LOT 3
COMMUNITY CONGREGATION CHURCH
PO BOX 128
GREENLAND, NH 03840-0128
R.C.R.D. BK. 3002 PG. 1130

TAX MAP R8 LOT 17
PHILBRICK-VICKERY
TOWER GREENLAND LLC
361 CENTRAL ROAD
RYE, NH 03870-2545
R.C.R.D. BK. 3267 PG. 763

TAX MAP R8 LOT 16
HOMWOOD FARM REALTY TRUST
C/O SPECTRASITE
PO BOX 723597
ATLANTA, GA 31139
R.C.R.D. BK. 2846 PG. 2800

TAX MAP R7 LOT 61
MARGARET BELL
53 MAGNOLIA LN.
GREENLAND, NH 03840
R.C.R.D. BK. 2899 PG. 760

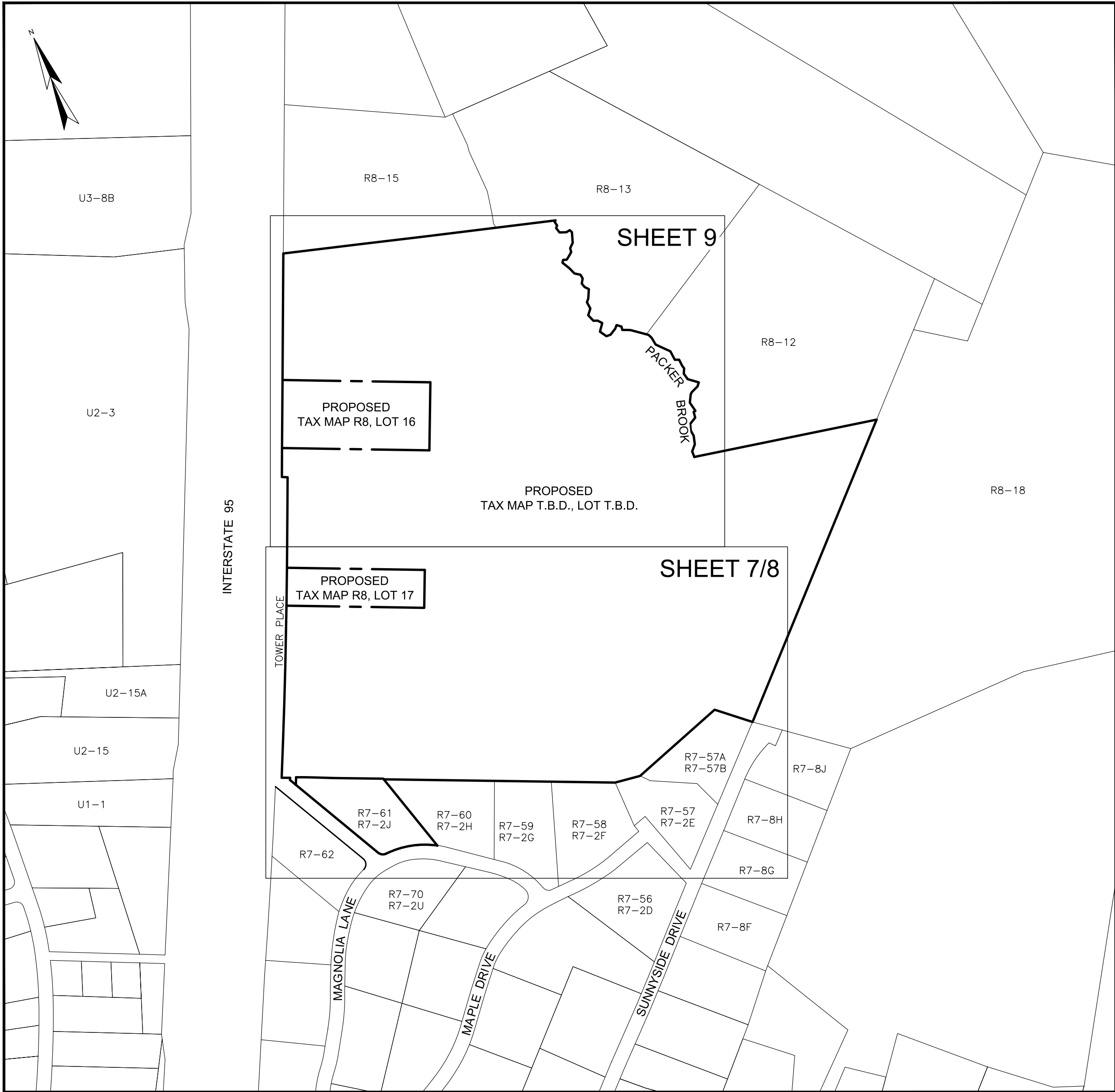
TAX MAP R7 LOT 2J
ELAINE GROVER
55 MAGNOLIA LN.
GREENLAND, NH 03840
R.C.R.D. BK. 3705 PG. 1645
- FIELD SURVEY PERFORMED BY DOUCET SURVEY DURING APRIL & MAY 2021 USING A TRIMBLE SS7 TOTAL STATION AND A TRIMBLE R12 SURVEY GRADE GPS WITH A TRIMBLE TSC3 DATA COLLECTOR AND A SOKKIA B21 AUTO LEVEL. TRAVERSE ADJUSTMENT BASED ON LEAST SQUARE ANALYSIS.
- HORIZONTAL DATUM BASED ON NAD83(2011) NEW HAMPSHIRE STATE PLANE COORDINATE ZONE (2800) DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK.
- VERTICAL DATUM IS BASED ON APPROXIMATE NAVD88(GEOD12A) (±2') DERIVED FROM REDUNDANT GPS OBSERVATIONS UTILIZING THE KEYNET GPS VRS NETWORK.
- JURISDICTIONAL WETLANDS DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC DURING APRIL 2021 IN ACCORDING TO THE:
 - US ARMY CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1 (JANUARY, 1987).
 - REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION (2012).
 - NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: NORTHEAST (REGION 1). U.S. FISH AND WILDLIFE SERVICE (2013).
 - CODE OF ADMINISTRATIVE RULES, WETLANDS BOARD, STATE OF NEW HAMPSHIRE (CURRENT).
 - FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, VERSION 8.0, 2016 AND (FOR DISTURBED SITES) FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 4. NEHSTC (MAY 2017).
- FLOOD HAZARD ZONE:"X", PER FIRM MAP #33015C0265F, DATED 1/29/21.
- PROPER FIELD PROCEDURES WERE FOLLOWED IN ORDER TO GENERATE CONTOURS AT 2' INTERVALS. ANY MODIFICATION OF THIS INTERVAL WILL DIMINISH THE INTEGRITY OF THE DATA, AND DOUCET SURVEY. WILL NOT BE RESPONSIBLE FOR ANY SUCH ALTERATION PERFORMED BY THE USER.
- UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON OBSERVED PHYSICAL EVIDENCE AND PAINT MARKS FOUND ON-SITE.
- THE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF BOUNDARIES IN ACCORDANCE WITH AND IN RELATION TO THE CURRENT LEGAL DESCRIPTION, AND IS NOT AN ATTEMPT TO DEFINE UNWRITTEN RIGHTS, DETERMINE THE EXTENT OF OWNERSHIP, OR DEFINE THE LIMITS OF TITLE.
- WATER BOUNDARIES ARE DYNAMIC IN NATURE AND ARE SUBJECT TO CHANGE DUE TO NATURAL CAUSES SUCH AS EROSION OR ACCRETION.
- LIDAR BASED CONTOURS SHOWN ON TAX MAP R8 LOT 16 ARE BASED ON PUBLICLY AVAILABLE 2011 NOAA (NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION) DATA.
- ALL UNDERGROUND UTILITIES (ELECTRIC, GAS, TEL. WATER, SEWER DRAIN SERVICES) ARE SHOWN IN SCHEMATIC FASHION. THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.
- NO UNIT CONSTRUCTION HAS BEGUN.

EXISTING EASEMENT NOTES:

- HOMWOOD FARM REALTY TRUST TO NET&T, R.C.R.D. BOOK 3131, PAGE 2916.
- HOMWOOD FARM REALTY TRUST TO AMERICAN TOWER ASSET SUB II, LLC, R.C.R.D. BOOK 5436, PAGE 2999.
- HOMWOOD FARM REALTY TRUST TO PSNH AND NET&T, R.C.R.D. BOOK 2877, PAGE 2250.
- EDITH & RALPH FISHER TO NEW HAMPSHIRE GAS & ELECTRIC COMPANY, R.C.R.D. BOOK 1147, PAGE 473.
- GRACE PHILBRICK, WALTER R., WALTER J. & STEPHEN VICKERY TO NEW HAMPSHIRE GAS & ELECTRIC COMPANY, R.C.R.D. BOOK 1175, PAGE 14.
- LEASE FROM PHILBRICK-VICKERY TOWER GREENLAND, LLC TO STC FIVE LC, R.C.R.D. BOOK 5388, PAGE 2603. EXACT LIMITS FOR LEASE LAND NOT DEFINED IN DOCUMENT.
- GRACE WILCOX TO NEW HAMPSHIRE GAS & ELECTRIC COMPANY, R.C.R.D. BOOK 1147, PAGE 475.
- CHARLESPORT DEVELOPMENT, INC. TO TOWN OF GREENLAND, R.C.R.D. BOOK 2707, PAGE 1769. 50' WIDE ROADWAYS AS SHOWN ON PLAN D-15503.
- OTHER RIGHTS BENEFITING AND/OR BURDENING THE SUBJECT PARCELS MAY EXIST.

REFERENCE PLANS:

- "SUBDIVISION OF LAND LOCATED IN GREENLAND, N.H. PREPARED FOR RONALD J COAKLEY" DATED 3/12/86 BY KIMBALL CHASE, R.C.R.D. PLAN D-15503.
- "SUBDIVISION PLAN OF LAND FOR JOHN A. & DEBORAH D. GENDRON AND REBECCA EASTMAN, 12 & 14 MAPLE DRIVE EXTENSION, COUNTY OF ROCKINGHAM, GREENLAND, N.H." DATED MARCH 27, 1997 BY RICHARD P. MILLETTE AND ASSOCIATES, R.C.R.D. PLAN D-25393.
- "SUBDIVISION PLAN OF RICHARD W. & MARY J. COOMBS LAND FOR THE NATURE CONSERVANCY, COOMBS FARM ROAD & SUNNYSIDE DRIVE, GREENLAND, NEW HAMPSHIRE" DATED OCTOBER 29, 2002 BY DOUCET SURVEY, INC. R.C.R.D. PLAN D-30430.
- "STATE OF NEW HAMPSHIRE PLANS OF PROPOSED NEW HAMPSHIRE TURNPIKE LS 1815, TOWNS OF SEABROOK, HAMPTON FALLS, HAMPTON, NORTH HAMPTON, GREENLAND AND CITY OF PORTSMOUTH" DATED AUGUST 27, 1948 AVAILABLE ON THE NHDOT ON-LINE PROJECT VIEWER.



OVERVIEW PLAN

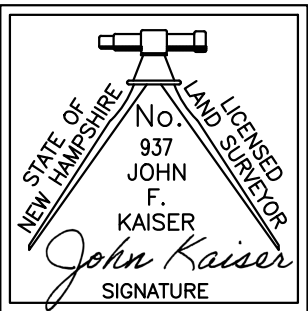
LEGEND: EXISTING

- EXISTING LOT LINE
- APPROXIMATE ABUTTERS LOT LINE
- EXISTING LOT LINE TO BE REMOVED
- BUILDING SETBACK LINE
- PERIMETER BUFFER SETBACK LINE
- WETLAND BUFFER SETBACK LINE
- EXISTING EASEMENT LINE
- EXISTING RIGHT-OF-WAY LINE
- STONE WALL
- REMNANT STONE WALL
- CHAIN LINK FENCE
- WIRE FENCE
- OVERHEAD WIRE
- CULVERT
- ELECTRIC LINE
- TELEPHONE LINE
- CABLE/INTERNET LINE
- EDGE OF DELINEATED WETLAND
- WATERCOURSE
- WETLAND AREA
- EDGE OF DELINEATED VERY POORLY DRAINED WETLAND BOUND FOUND (BND. FND.)
- DRILL HOLE FOUND (D.H.F.)
- PIPE/ROD FOUND
- UTILITY POLE
- UTILITY POLE & GUY WIRE
- TRANSMISSION LINE POLE

- PAD MOUNTED TRANSFORMER
- ELECTRIC BOX
- CABLE BOX
- TELEPHONE BOX
- MAIL BOX
- MONITORING WELL LOCATION
- SUPPLY WELL
- DECIDUOUS TREE
- TREE STUMP
- TYP. CONC. GRAN.
- BND. FND.
- D.H.
- I.P.F.
- NHHL
- HDWL
- CMP
- EG
- EG
- MP
- VP

LEGEND: PROPOSED

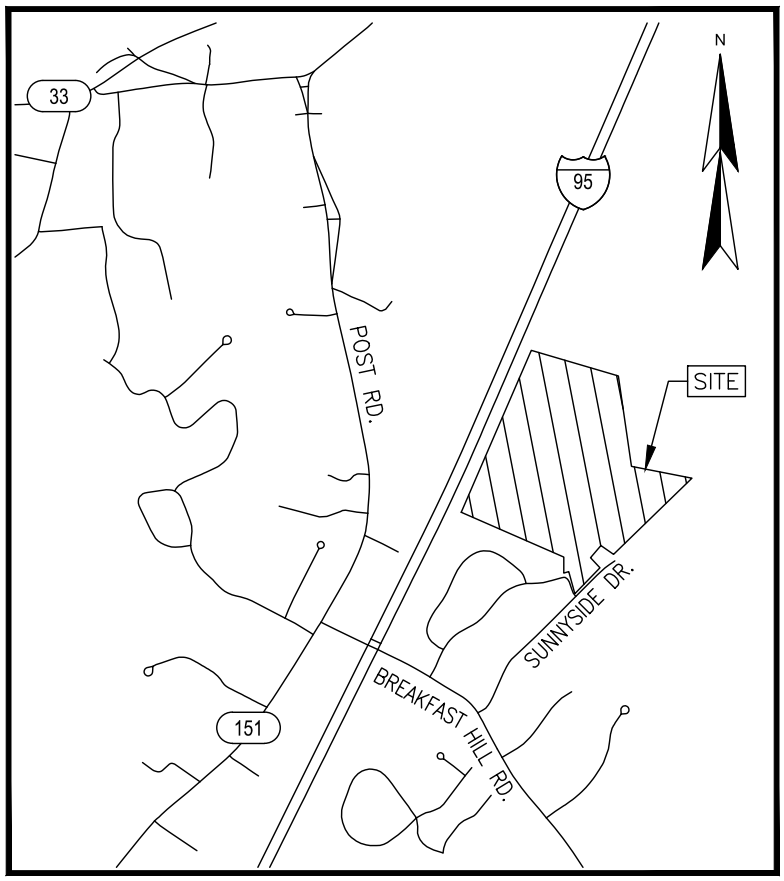
- PROPOSED LOT LINE
- PROPOSED LIMITED COMMON AREA LINE
- PROPOSED RIGHT-OF-WAY LINE
- PD
- PS
- PFM
- PD
- PD
- PROPOSED GRAVEL
- PROPOSED GUARDRAIL
- PROPOSED EROSION
- PROPOSED CATCH BASIN
- PROPOSED DRAIN MANHOLE
- PROPOSED SEWER MANHOLE
- PROPOSED WELL
- PROPOSED SIGN



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1/11/22 DATE

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LOCATION MAP (n.l.s.)

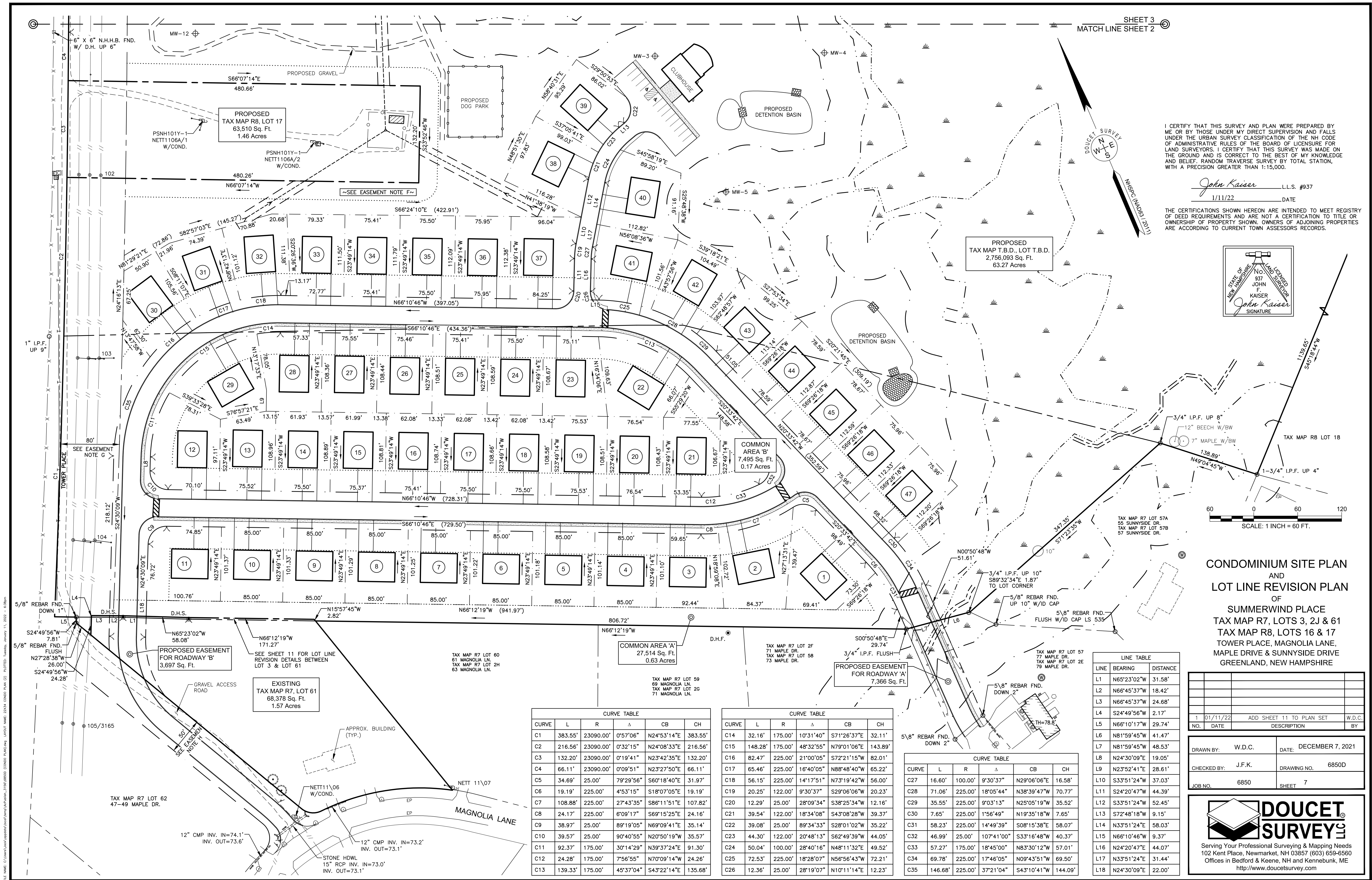
CONDOMINIUM SITE PLAN
AND
LOT LINE REVISION PLAN
OF

SUMMERWIND PLACE
TAX MAP R7, LOTS 3, 2J & 61
TAX MAP R8, LOTS 16 & 17
TOWER PLACE, MAGNOLIA LANE,
MAPLE DRIVE & SUNNYSIDE DRIVE
GREENLAND, NEW HAMPSHIRE

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| 1 | 01/11/22 | ADD SHEET 11 TO PLAN SET | W.D.C. |
| NO. | DATE | DESCRIPTION | BY |

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|-------------|--------|-------------|------------------|
| DRAWN BY: | W.D.C. | DATE: | DECEMBER 7, 2021 |
| CHECKED BY: | J.F.K. | DRAWING NO. | 6850D |
| JOB NO. | 6850 | SHEET | 6 |

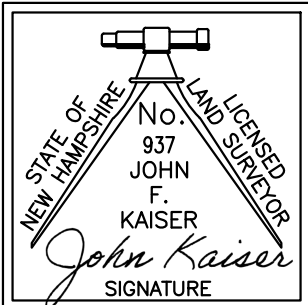
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[illegible]

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

John Kaiser L.L.S. #93
1/11/22 DATE

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.



60 0 60 120

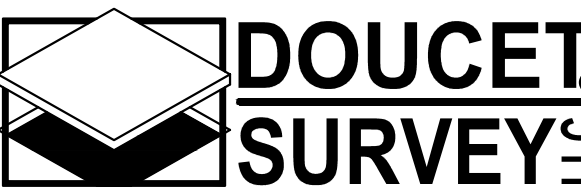
SCALE: 1 INCH = 60 FT.

CONDOMINIUM SITE PLAN
AND
LOT LINE REVISION PLAN
OF

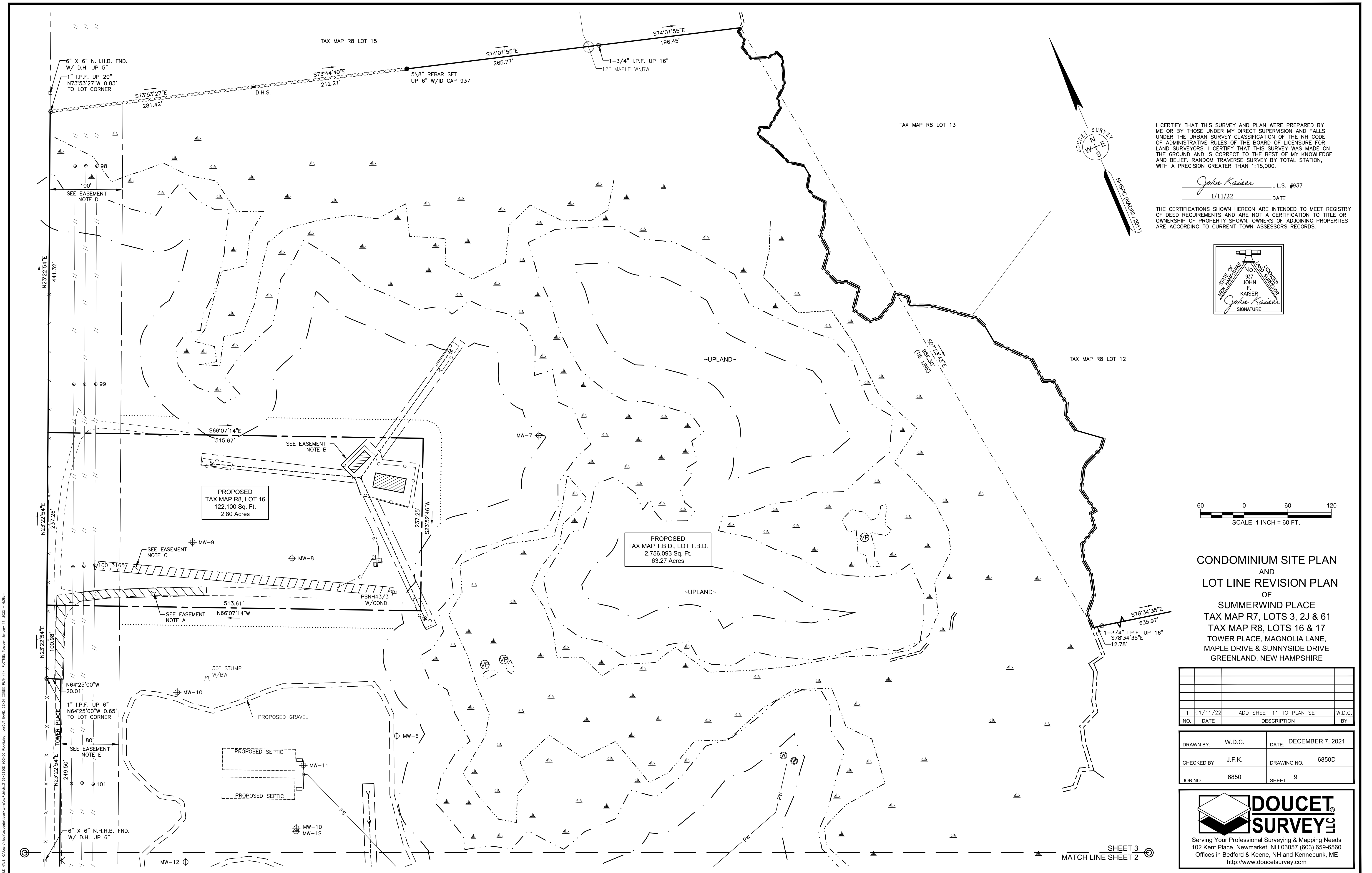
SUMMERWIND PLACE
TAX MAP R7, LOTS 3, 2J & 6
TAX MAP R8, LOTS 16 & 17
TOWER PLACE, MAGNOLIA LANE,
MAPLE DRIVE & SUNNYSIDE DRIVE
GREENLAND, NEW HAMPSHIRE

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| 1 | 01/11/22 | ADD SHEET 11 TO PLAN SET | W.D.C |
| NO. | DATE | DESCRIPTION | BY |

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| DRAWN BY: W.D.C. | DATE: DECEMBER 7, 2021 |
| CHECKED BY: J.F.K. | DRAWING NO. 6850D |
| JOB NO. 6850 | SHEET 8 |



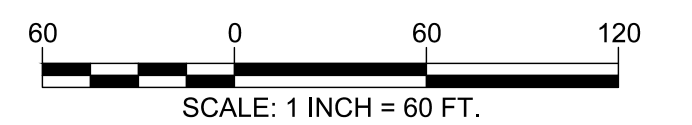
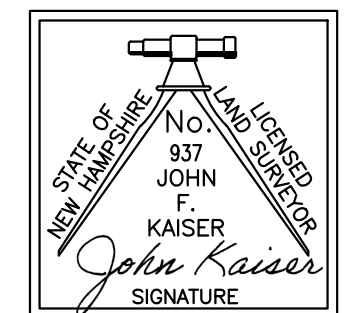
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John Kaiser L.I.S. #937
1/11/22 DATE

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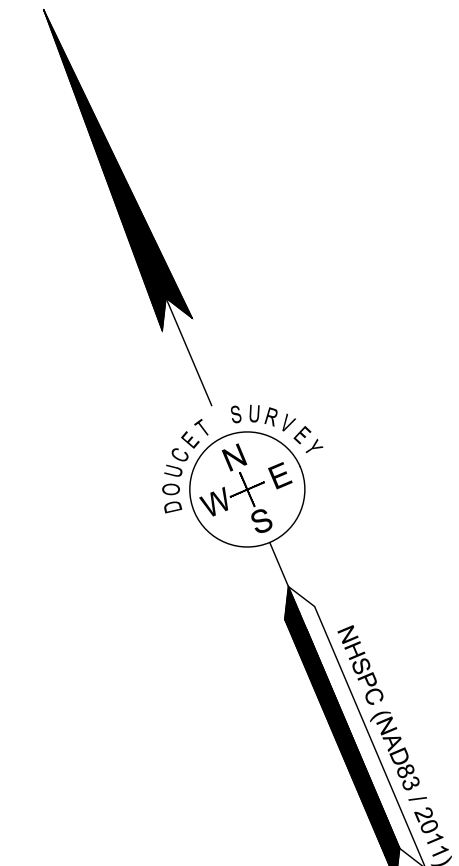
CONDOMINIUM SITE PLAN
AND
LOT LINE REVISION PLAN
OF

SUMMERWIND PLACE
TAX MAP R7, LOTS 3, 2J & 61
TAX MAP R8, LOTS 16 & 17
TOWER PLACE, MAGNOLIA LANE,
MAPLE DRIVE & SUNNYSIDE DRIVE
GREENLAND, NEW HAMPSHIRE

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| 1 | 01/11/22 | ADD SHEET 11 TO PLAN SET | W.D.C. |
| NO. | DATE | DESCRIPTION | BY |

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|--------------------|------------------------|
| DRAWN BY: W.D.C. | DATE: DECEMBER 7, 2021 |
| CHECKED BY: J.F.K. | DRAWING NO. 6850D |
| JOB NO. 6850 | SHEET 9 |

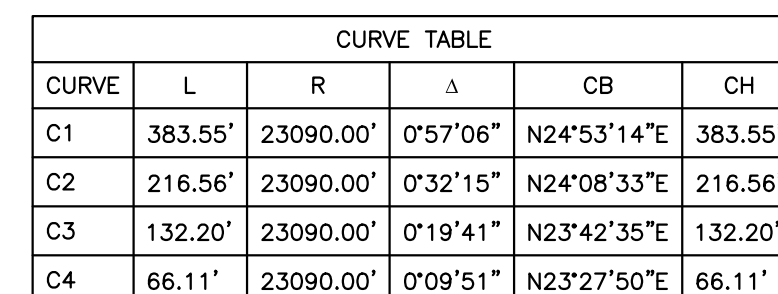




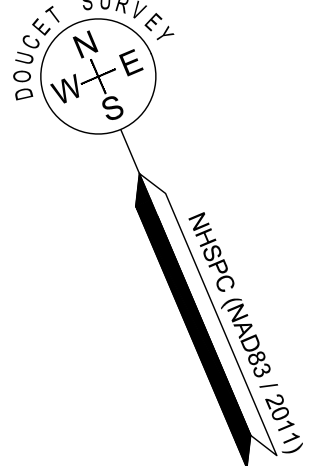
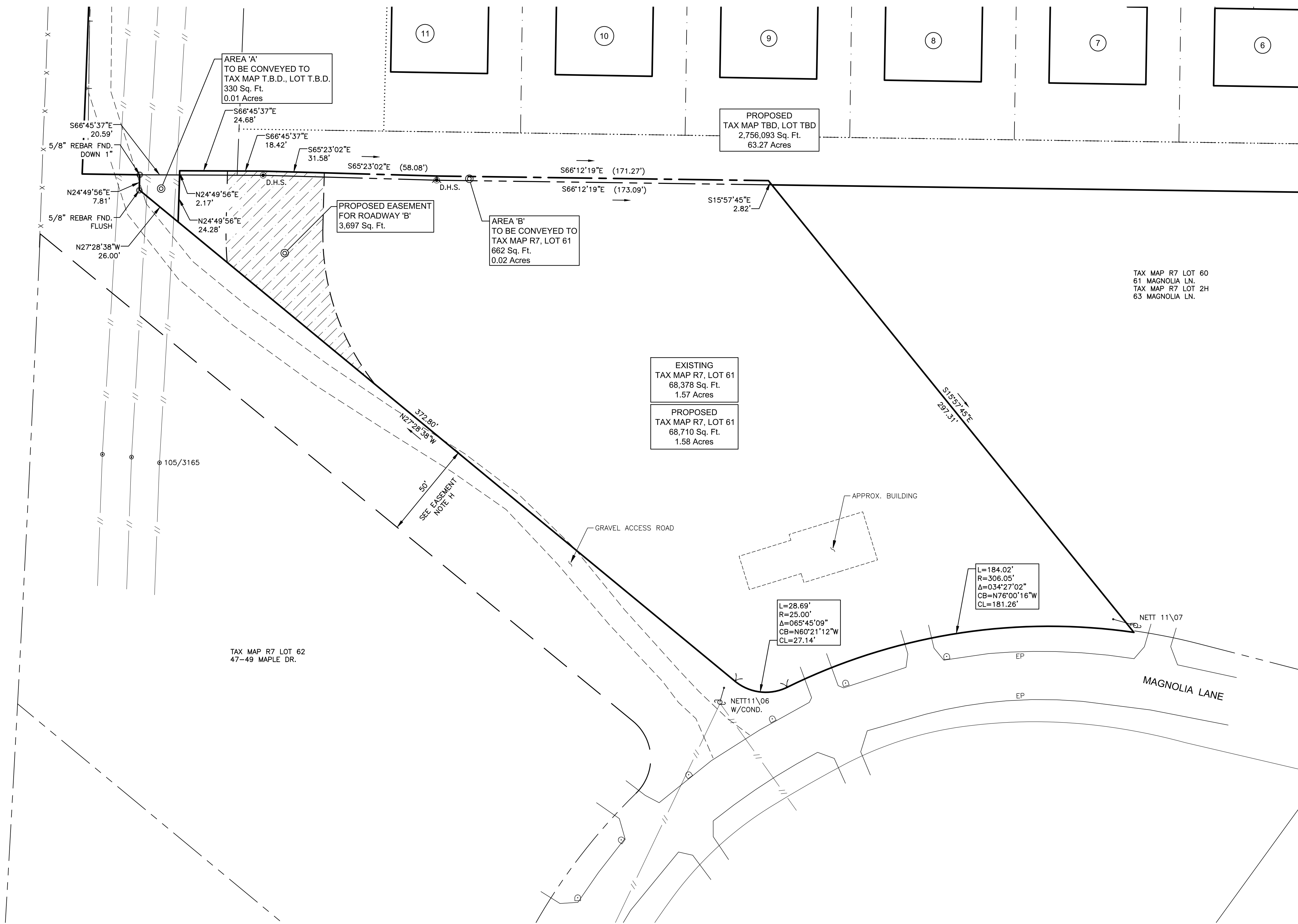
John Kaiser L.L.S. #937
1/11/22 DATE



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|--------------------|------------------------|
| DRAWN BY: W.D.C. | DATE: DECEMBER 7, 2021 |
| CHECKED BY: J.F.K. | DRAWING NO. 6850D |
| JOB NO. 6850 | SHEET 10 |



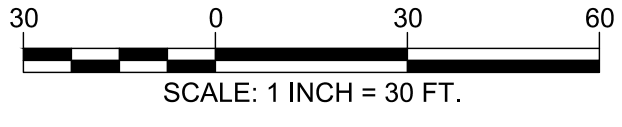
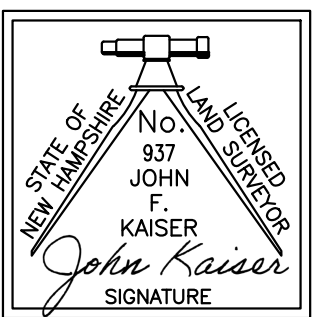
| LINE TABLE | | |
|------------|-------------|----------|
| LINE | BEARING | DISTANCE |
| L1 | N65°23'02"W | 31.58' |
| L2 | N66°45'37"W | 18.42' |
| L3 | N66°45'37"W | 24.68' |
| L4 | S24°49'56"W | 2.17' |
| L5 | N66°10'17"W | 29.74' |
| L6 | N81°59'45"W | 41.47' |
| L7 | N81°59'45"W | 48.53' |



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John Kaiser L.L.S. #937
1/11/22 DATE

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CONDOMINIUM SITE PLAN
AND
LOT LINE REVISION PLAN
OF
SUMMERWIND PLACE
TAX MAP R7, LOTS 3, 2J & 61
TAX MAP R8, LOTS 16 & 17
TOWER PLACE, MAGNOLIA LANE,
MAPLE DRIVE & SUNNYSIDE DRIVE
GREENLAND, NEW HAMPSHIRE

| NO. | DATE | DESCRIPTION | BY |
|-----|----------|--------------------------|--------|
| 1 | 01/11/22 | ADD SHEET 11 TO PLAN SET | W.D.C. |

| | | | |
|-------------|--------|-------------|------------------|
| DRAWN BY: | W.D.C. | DATE: | DECEMBER 7, 2021 |
| CHECKED BY: | J.F.K. | DRAWING NO. | 6850D |
| JOB NO. | 6850 | SHEET | 11 |

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PREPARED FOR:

JOSEPH FALZONE
7B EMERY LANE
STRATHAM, NH 03885

BA

BEALS

ASSOCIATES, PLLC

70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860,
FAX: 603-583-4863

INTERSTATE 95

- NOTES
1. UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN LOCATED FROM FIELD OBSERVATIONS AND THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. BEALS ASSOCIATES OR ANY OF THEIR EMPLOYEES TAKE NO RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND UTILITIES OR STRUCTURES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-DIG-SAFE
 2. THIS PLAN HAS BEEN PREPARED FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
 3. ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
 4. ALL ROAD AND DRAINAGE WORK TO CONFORM TO TOWN STANDARD SPECIFICATIONS FOR CONSTRUCTION.
 5. ALL PROPOSED SIGNS SHALL CONFORM TO THE TOWN ZONING REGULATIONS.
 6. FLOOD HAZARD ZONE:"X", PER FIRM MAP #33015C0265F, DATED 1/29/21.
 7. THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
 8. SEE DETAIL SHEET FOR STANDARD CONSTRUCTION NOTES AND DETAILS.
 9. DISTURBANCE IS OVER 100,000 SQ. FT. NHDES ALTERATION OF TERRAIN PERMIT IS REQUIRED.

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| REVISIONS: | DATE: |
| VICINITY PLAN | |
| PLAN FOR: RESIDENTIAL DEVELOPMENT TOWER PLACE GREENLAND, NH | |
| DATE: | NOV 2021 |
| SCALE: | 1"=150' |
| PROJ. NO: | NH-1360 |
| SHT NO. | 11 |

KEY TO SOIL TYPES

THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR INFILTRATION REQUIREMENTS BY THE NH DES ALTERATION OF TERRAIN BUREAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP. THE SITE SPECIFIC SOIL SURVEY WAS PRODUCED 29 SEPTEMBER, 2021, AND WAS PREPARED BY JAMES P. GOVE, CSS # 004, OF GOVE ENVIRONMENTAL SERVICES, INC. THE SURVEY AREA IS LOCATED AT TOWER PLACE, GREENLAND, NH. SOILS WERE IDENTIFIED WITH THE NEW HAMPSHIRE STATE-WIDE NUMERICAL SOILS LEGEND, USDA NRCS, DURHAM, NH, ISSUE # 10, JANUARY 2011. THE NUMERIC LEGEND WAS AMENDED TO IDENTIFY THE CORRECT SOIL COMPONENTS OF THE COMPLEX. HYDROLOGIC SOIL GROUP FROM KSTAT VALUES FOR NEW HAMPSHIRE SOILS, SOCIETY OF SOIL SCIENTISTS OF NEW ENGLAND, SPECIAL PUBLICATION NO. 5, SEPTEMBER, 2009.

| SSSM SYM. | SSS MAP NAME | HISS SYM. | HYDROLOGIC SOIL GRP. |
|-----------|----------------------|-----------|----------------------|
| 115 | SCARBORO, MUCK | 611 | D |
| 399 | ROCK OUTCROP | N/A | N/A |
| 400A | AA IDORTHERTS, SANDY | 161 | A |
| 513 | NINGRET, FSL | 311 | B |
| 546 | WALPOLE, FSL | 511 | C |

SLOPE PHASE:
B= 0-8%, C= 8-15%, D=15-25% E=25%+

WETLAND NOTES

THE LIMITS OF JURISDICTIONAL WETLANDS AS SHOWN ON THIS PLAN WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC., IN ACCORDANCE WITH:

1. US ARMY CORPS OF ENGINEERS REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHCENTRAL AND NORTHEAST REGION, TECHNICAL REPORT ERDC/EL TR-12-1, JANUARY 2012, VERSION 2.0
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 7.0.
3. UNITED STATES DEPARTMENT OF AGRICULTURE (2010), NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, VERSION 2.2.1 (2009).

PREPARED FOR:

JOSEPH FALZONE
7B EMERY LANE
STRATHAM, NH 03885

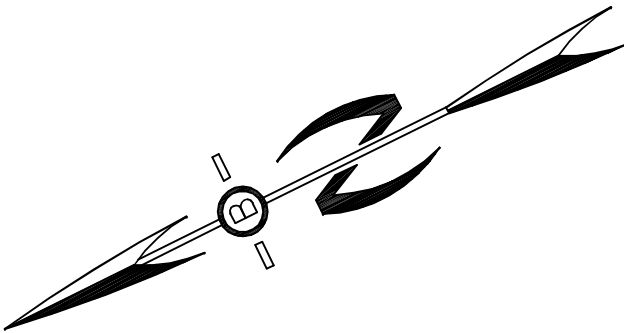


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THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860,
FAX: 603-583-4863

RES-ZONING REQUIREMENTS

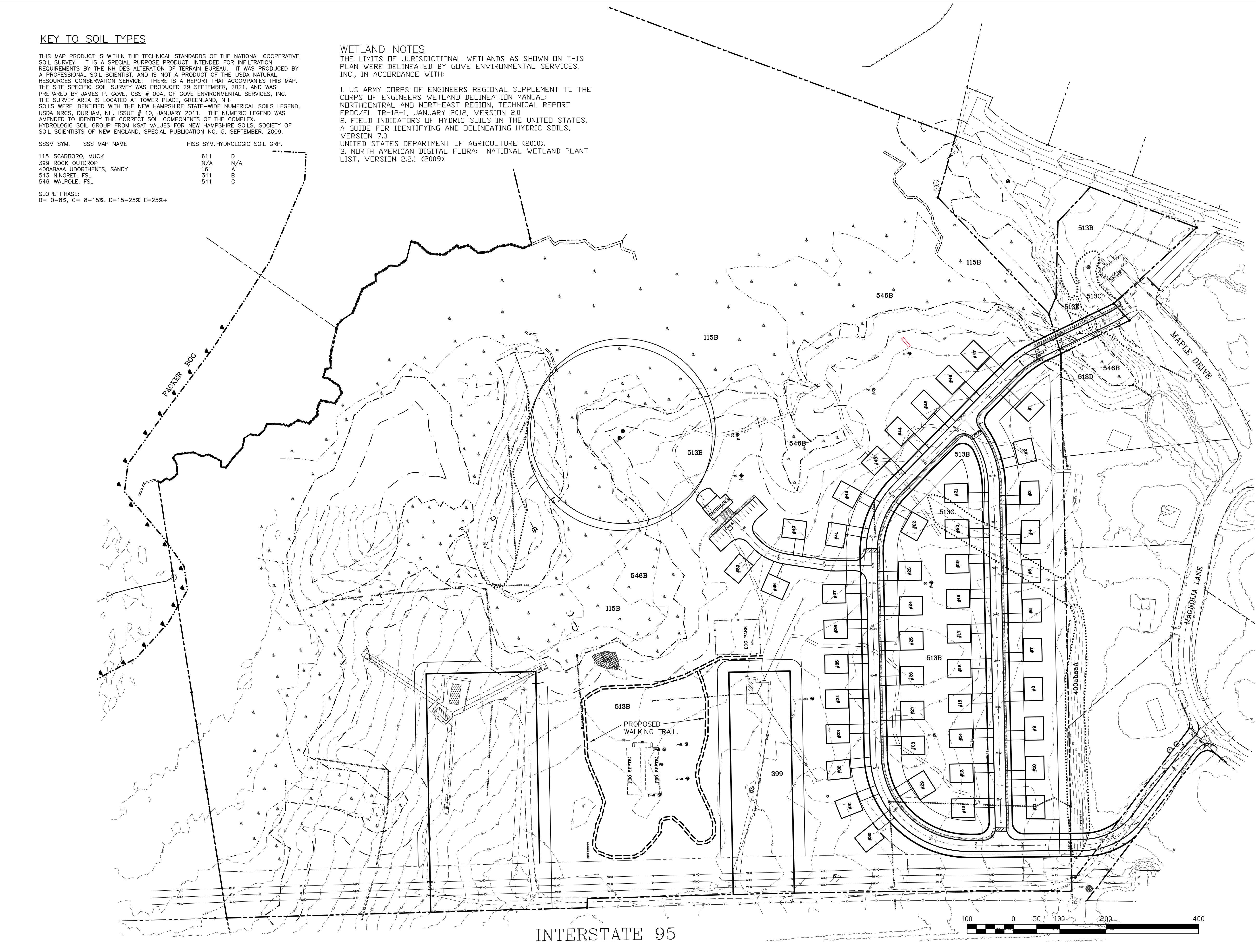
DIMENSIONAL REQUIREMENTS: 55 AND OLDER OVERLAY

| | |
|--------------------------|--------|
| MIN. LOT AREA | 15 AC. |
| MIN. FRONTAGE | 50 ft. |
| MIN. FRONT SETBACK | 30 ft. |
| MIN. SIDE SETBACK | 30 ft. |
| MIN. REAR SETBACK | 20 ft. |
| MIN. PERIMETER SETBACK | 25 ft. |
| MIN. BUILDING SEPERATION | 35 ft. |
| MAX. BUILDING HEIGHT | 35 ft. |
| WETLAND SETBACK: | |
| ALL WETLAND: | 50 ft. |
| SURFACE WATERS: | 75 ft. |



OPEN SPACE CALCS:
TOTAL RESIDENTIAL LOT AREA = 67.5 AC.
- 3.77 UTILITY LOTS = 63.7 AC.
REQUIRED OPEN SPACE = 50% OR 31.8 AC.
OPEN SPACE PROVIDED = 45 AC.
MIN. REQUIRED REC. AREA = 30% OR 19.1 AC.
REC. AREA PROVIDED = 21.6 AC.

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| REVISIONS: | | DATE: | |
| OVERALL SITE PLAN | | | |
| PLAN FOR: RESIDENTIAL DEVELOPMENT TOWER PLACE GREENLAND, NH | | | |
| DATE: | NOV 2021 | SCALE: | 1"=100' |
| PROJ. NO: | NH-1360 | SHT NO. | 12 |





PREPARED FOR:

JOSEPH FALZONE
7B EMERY LANE
STRATHAM, NH 03885

BA

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ASSOCIATES, PLLC

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PHONE: 603-583-4860,
FAX: 603-583-4863

RES-ZONING REQUIREMENTS

DIMENSIONAL REQUIREMENTS: 55 AND OLDER OVERLAY

| | |
|--------------------------|--------|
| MIN. LOT AREA | 15 AC. |
| MIN. FRONTAGE | 50 ft. |
| MIN. FRONT SETBACK | 30 ft. |
| MIN. SIDE SETBACK | 20 ft. |
| MIN. REAR SETBACK | 20 ft. |
| MIN. PERIMETER SETBACK | 25 ft. |
| MIN. BUILDING SEPERATION | 35 ft. |
| MAX. BUILDING HEIGHT | 35 ft. |
| WETLAND SETBACK: | |
| ALL WETLAND: | 50 ft. |
| SURFACE WATERS: | 75 ft. |

DENSITY CALCS

TOTAL AREA = 67.5 AC.
-28.7 AC. WET AREA
-0.0 AC. STEEP SLOPES
-9.4 AC. WET BUFFER
-1.56 AC. BUFFER AREAS
-3.77 UTILITY EASEMENTS
-3.48 AC. UTILITY TOWERS
20.6 AC. NET TRACT x 2.5 UNIT/AC
= 51 UNITS MAX.



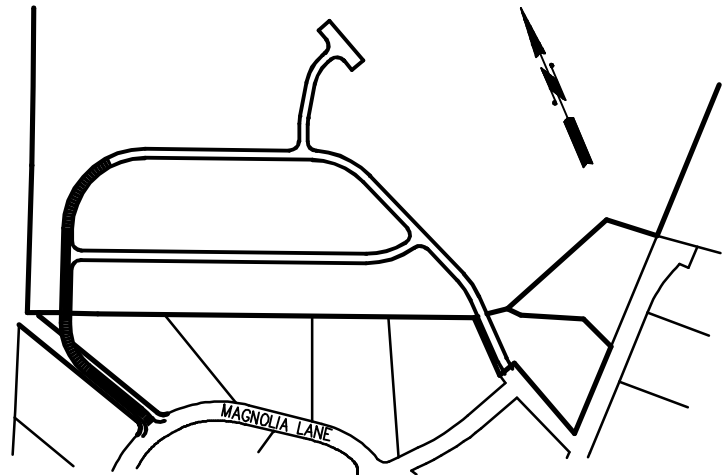
APPROVAL BLOCK

APPROVED TOWN OF GREENLAND PLANNING BOARD
APPROVAL BLOCK

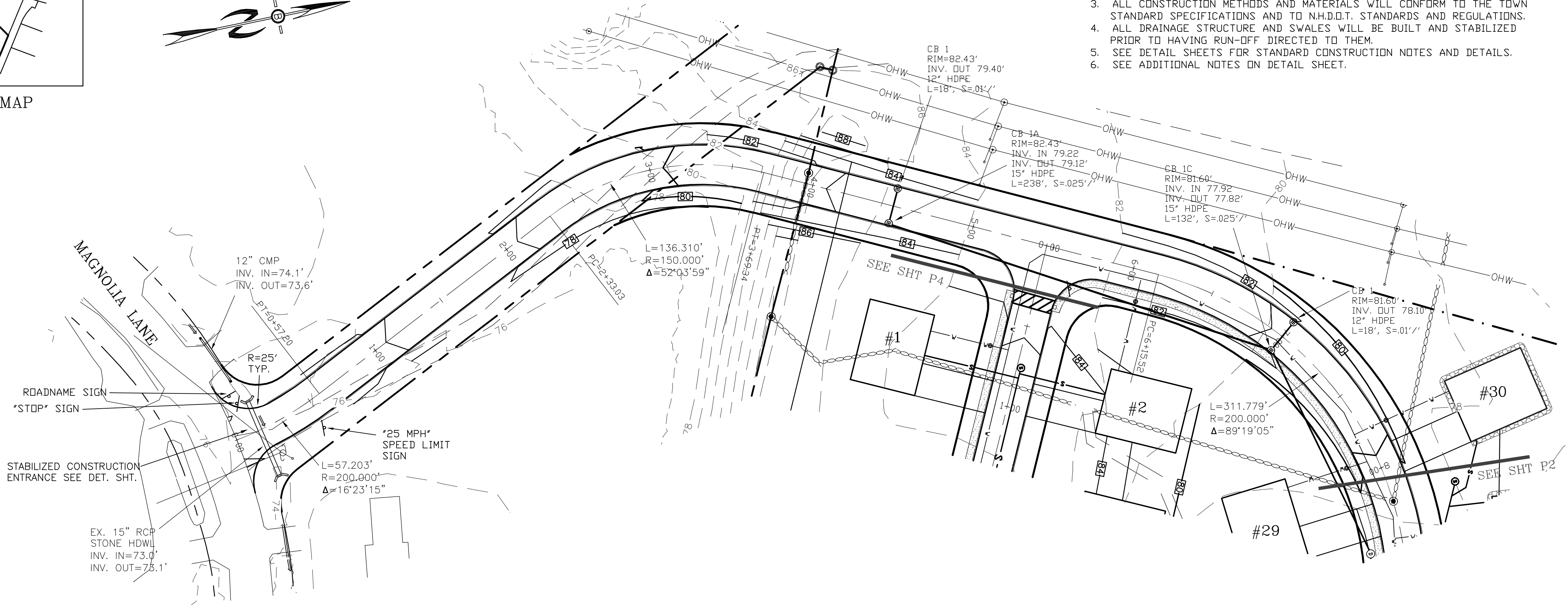
CHAIRPERSON

DATE

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| REVISIONS: | DATE: |
| DEVELOPMENT SITE PLAN | |
| PLAN FOR: RESIDENTIAL DEVELOPMENT TOWER PLACE GREENLAND, NH | |
| SCALE: 1"=60' | |
| PROJ. NO: | SHT NO. |
| NH-1360 | 13 |



CONSTRUCTION LOCUS MAP
1"=500'



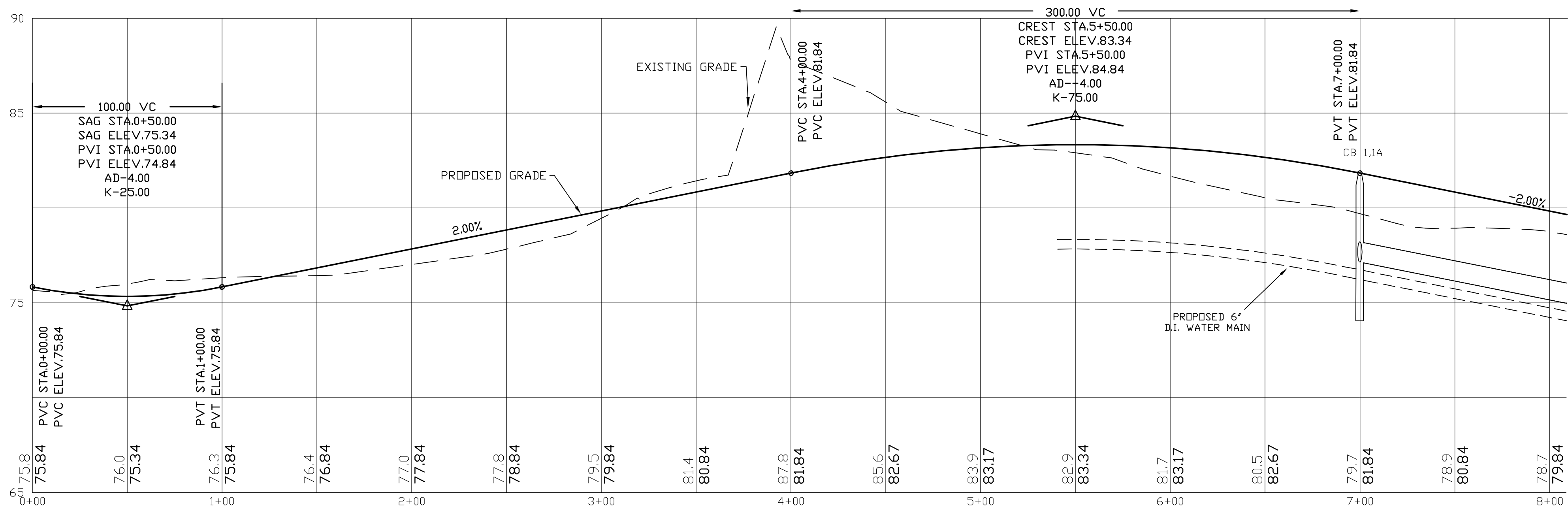
- NOTES
1. ALL ELECTRICAL, TELEPHONE, CABLE TELEVISION AND ALARM LINES TO BE UNDERGROUND. THE SIZE AND LOCATION IS TO BE DETERMINED BY APPROPRIATE UTILITY COMPANY.
 2. ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR, ENGINEER TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY.
 3. ALL CONSTRUCTION METHODS AND MATERIALS WILL CONFORM TO THE TOWN STANDARD SPECIFICATIONS AND TO N.H.D.O.T. STANDARDS AND REGULATIONS.
 4. ALL DRAINAGE STRUCTURE AND SWALES WILL BE BUILT AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM.
 5. SEE DETAIL SHEETS FOR STANDARD CONSTRUCTION NOTES AND DETAILS.
 6. SEE ADDITIONAL NOTES ON DETAIL SHEET.

PREPARED FOR:

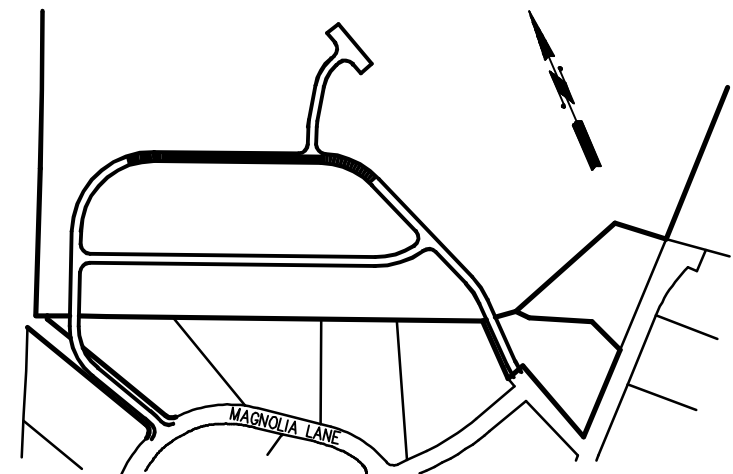
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7B EMERY LANE
STRATHAM, NH 03885



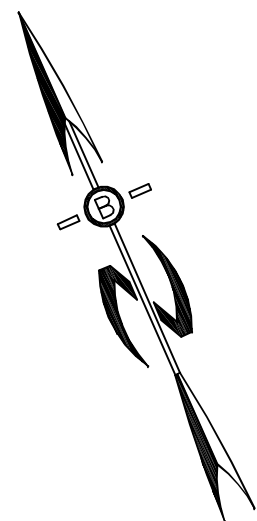
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PHONE: 603-583-4860,
FAX: 603-583-4863



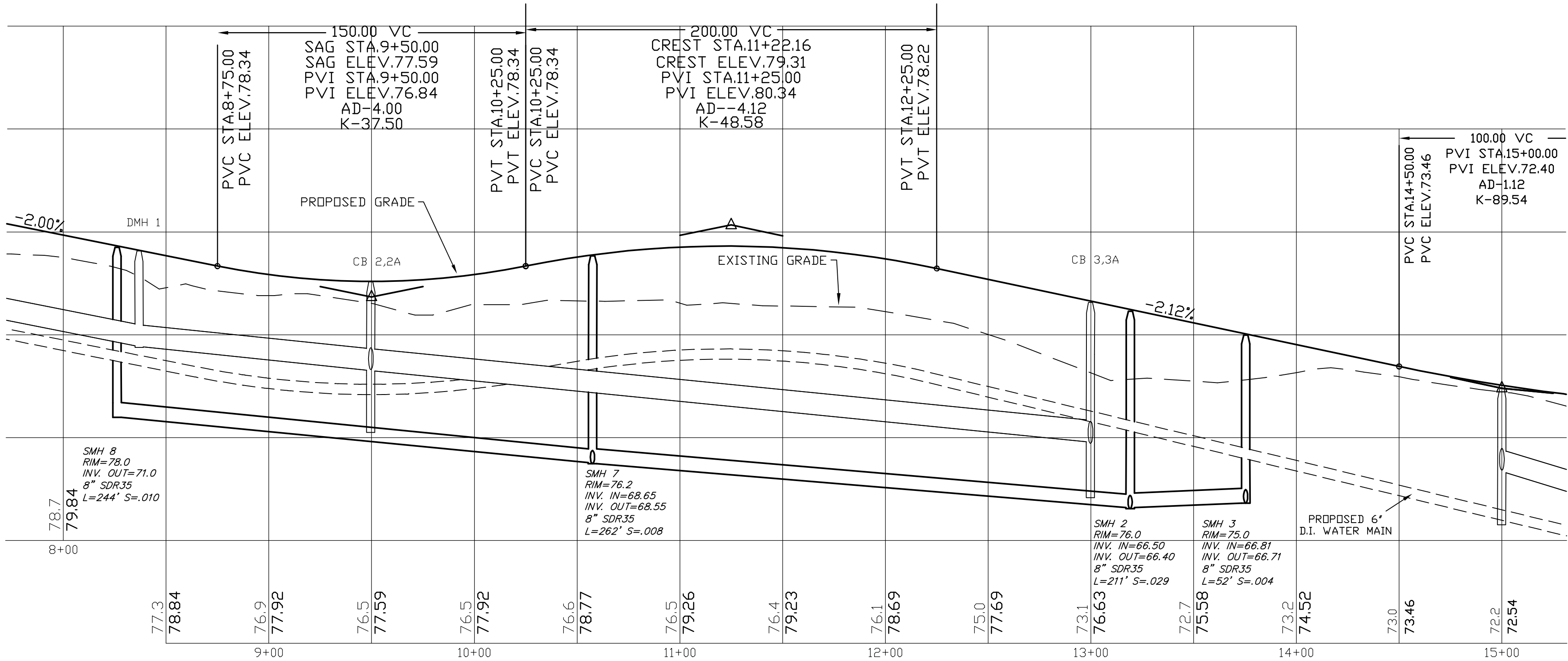
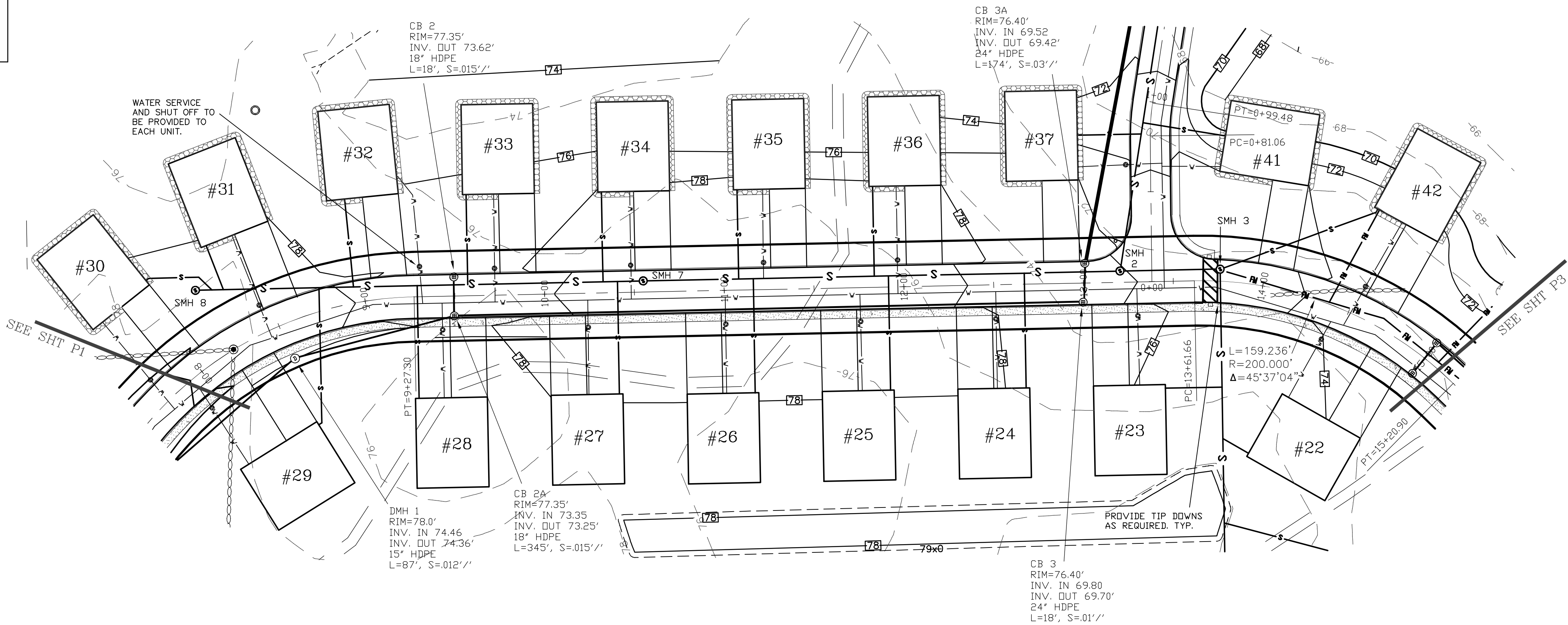
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| REVISIONS PER ENGINEERING REVIEW | 1/11/22 |
| REVISIONS: | DATE: |
| PLAN AND PROFILE-P1 | |
| PLAN FOR: RESIDENTIAL DEVELOPMENT TOWER PLACE GREENLAND, NH | |
| DATE: | NOV 2021 |
| SCALE: | 1" = 40' |
| PROJ. NO: | NH-1360 |
| SHT NO. | 14 |



CONSTRUCTION LOCUS MAP
1"=500'



NOTE: UNITS 30 THROUGH 47 SHALL
HAVE 3' WIDE BY 2' DEEP STONE
DRIP EDGES FOR ROOF
INFILTRATION. NO FOUNDATION
DRAINS ARE ALLOWED.

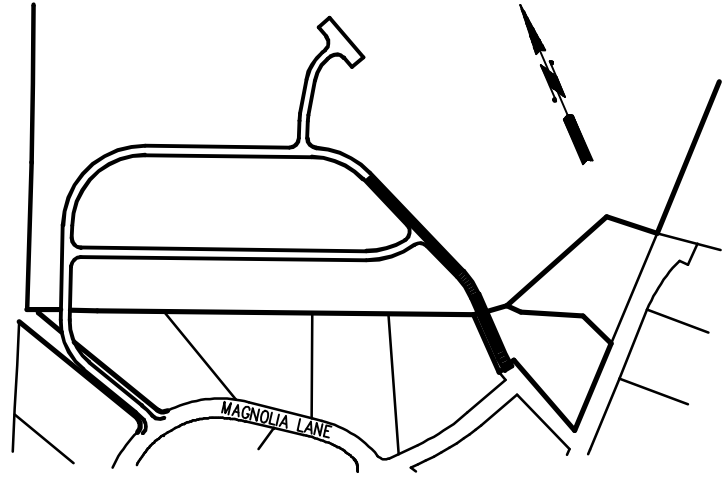


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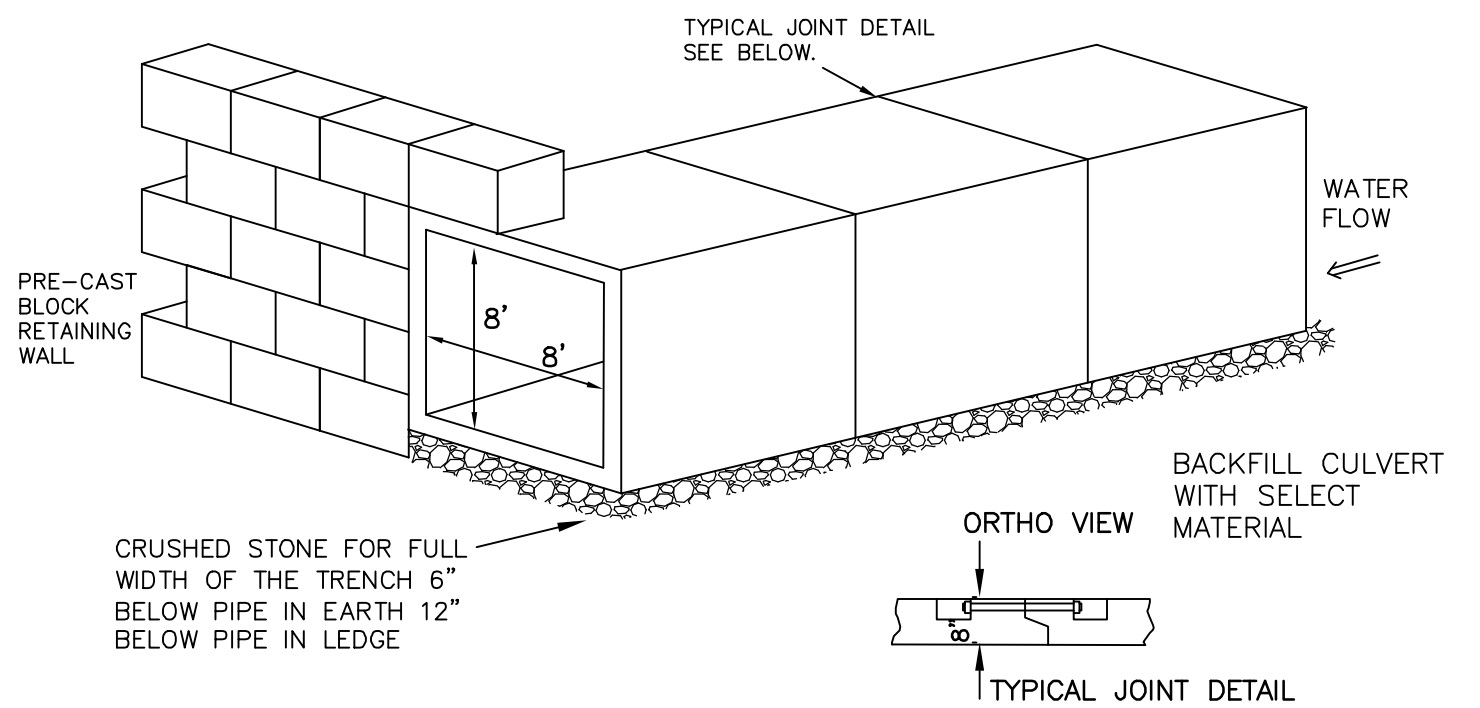
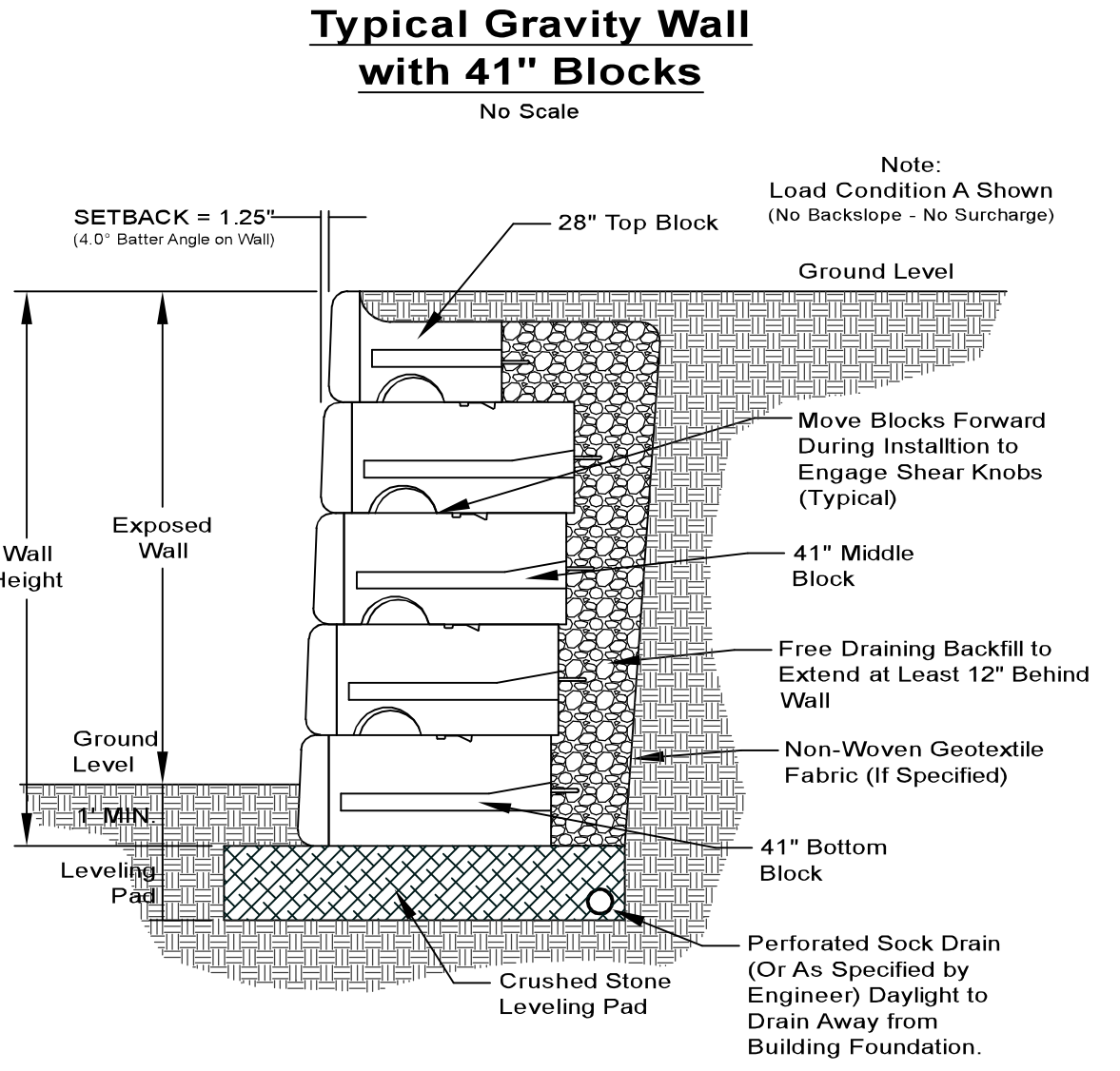
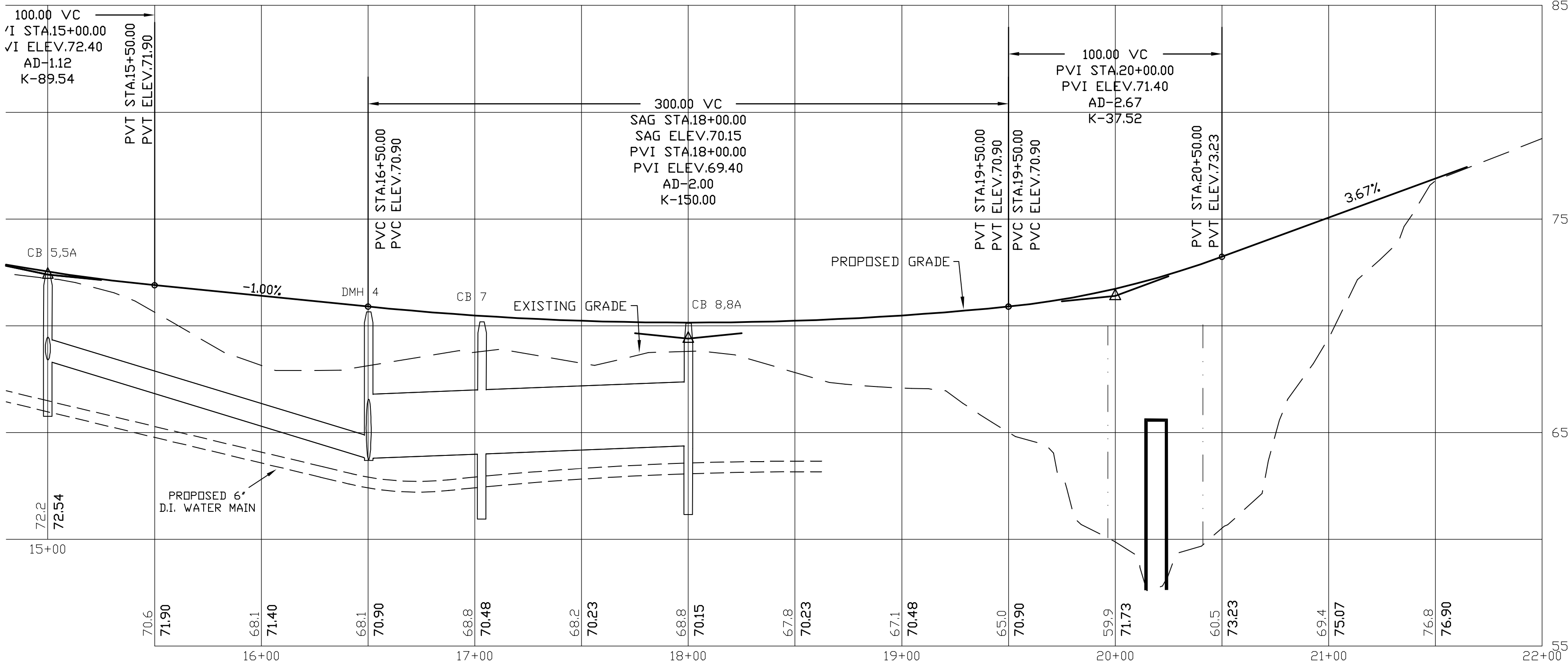
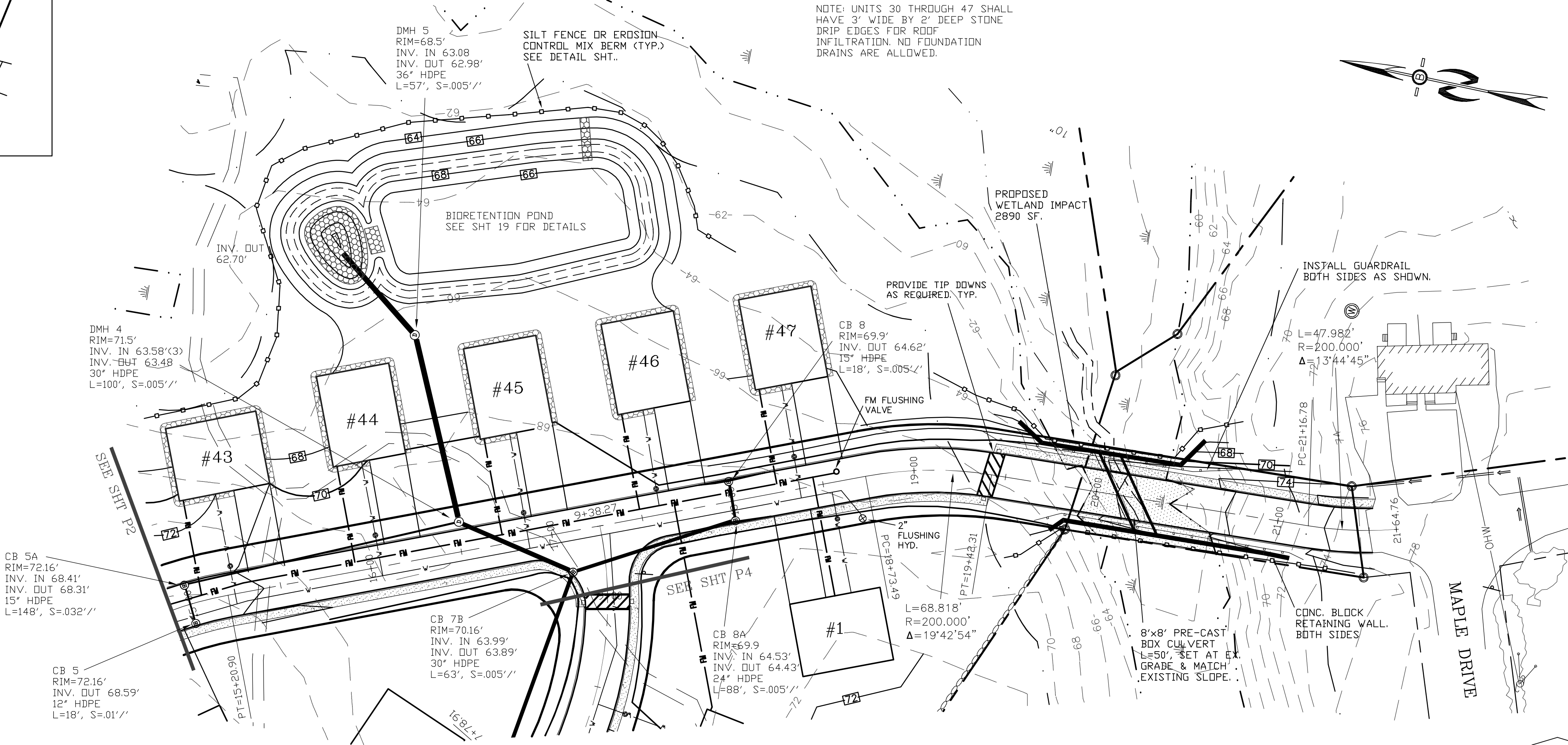
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PHONE: 603-583-4860,
FAX: 603-583-4863

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| REVISIONS: | DATE: |
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| | |
| PLAN AND PROFILE-P2 | |
| PLAN FOR: RESIDENTIAL DEVELOPMENT TOWER PLACE GREENLAND, NH | |
| DATE: | NOV 2021 |
| SCALE: | 1" = 40' |
| PROJ. NO: | NH-1360 |
| SHT NO. | 15 |

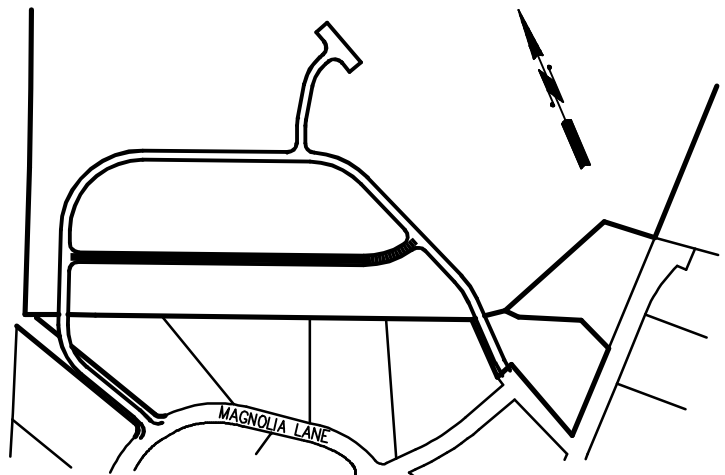


CONSTRUCTION LOCUS MAP
1"=500'



- NOTES:
1. CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
 2. DESIGN PER ASTM C1433 SPECIFICATION FOR BOX CULVERT
 3. ALL REINFORCEMENT PER ASTM A-615-75
 4. DESIGN FOR H-20 LOADING
 5. TONGUE AND GROOVE JOINT SEALED WITH NEOPRENE GASKETS
- PRE-CAST BOX CULVERT DETAIL

| | | | |
|---------------------|----------|--|----------|
| REVISIONS: | | DATE: | |
| PLAN AND PROFILE-P3 | | PLAN FOR: RESIDENTIAL DEVELOPMENT TOWER PLACE GREENLAND, NH | |
| DATE: | NOV 2021 | SCALE: | 1" = 40' |
| PROJ. NO: | NH-1360 | SHT NO. | 16 |

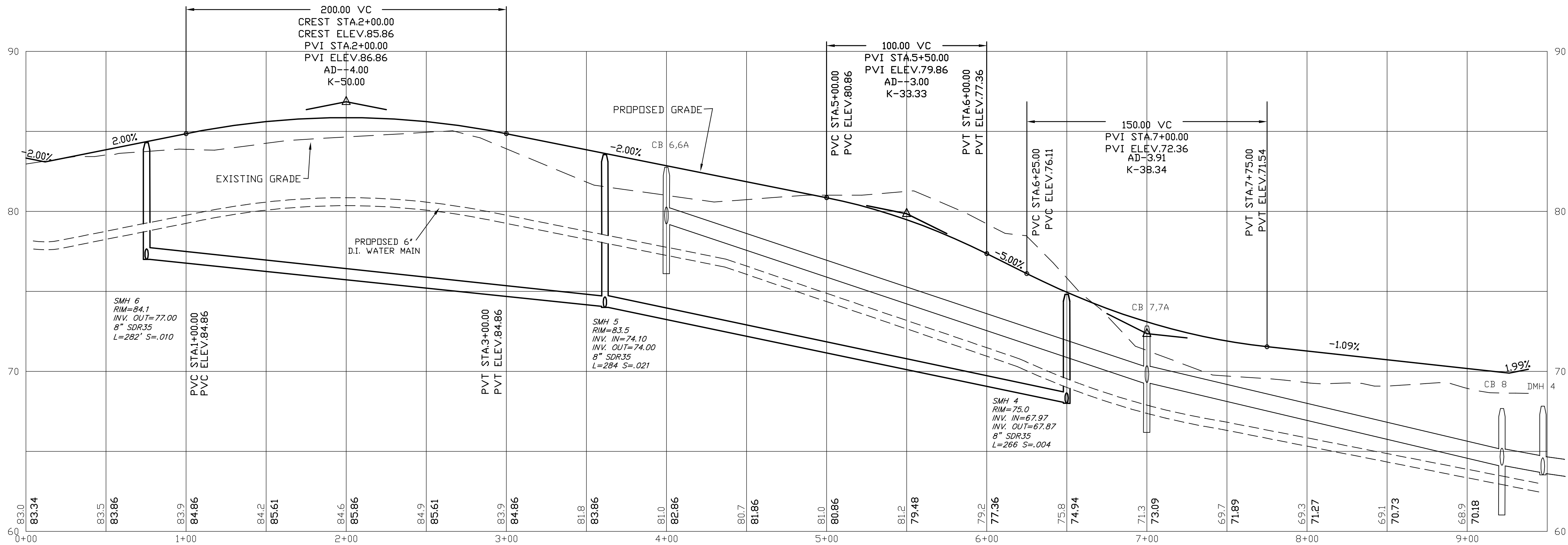
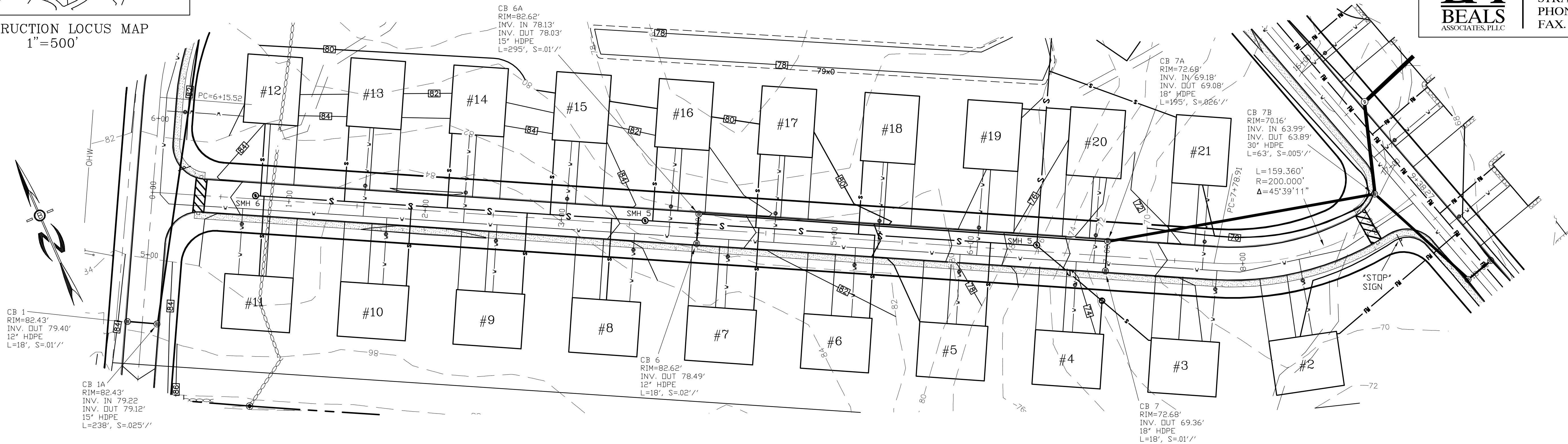


CONSTRUCTION LOCUS MAP
1"=500'

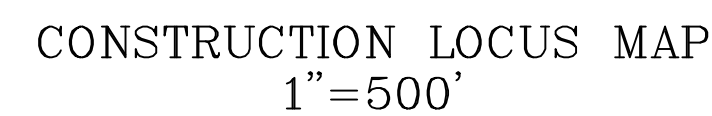
PREPARED FOR:
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, NH 03885



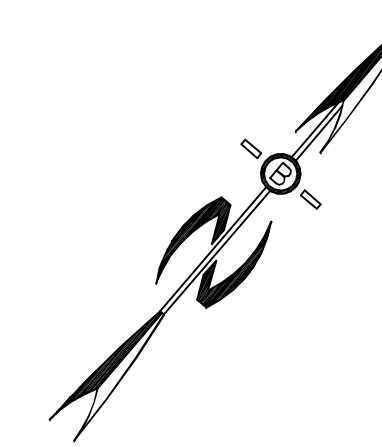
70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860,
FAX: 603-583-4863



| | | |
|--|----------|-----------------|
| REVISIONS PER ENGINEERING REVIEW | | 1/11/22 |
| REVISIONS: | | DATE: |
| PLAN AND PROFILE-P4 | | |
| PLAN FOR: RESIDENTIAL DEVELOPMENT TOWER PLACE GREENLAND, NH | | |
| DATE: | NOV 2021 | SCALE: 1" = 40' |
| PROJ. NO: | NH-1360 | SHT NO. 17 |



NOTE: UNITS 30 THROUGH 47 SHALL HAVE 3' WIDE BY 2' DEEP STONE DRIP EDGES FOR ROOF INFILTRATION. NO FOUNDATION DRAINS ARE ALLOWED.

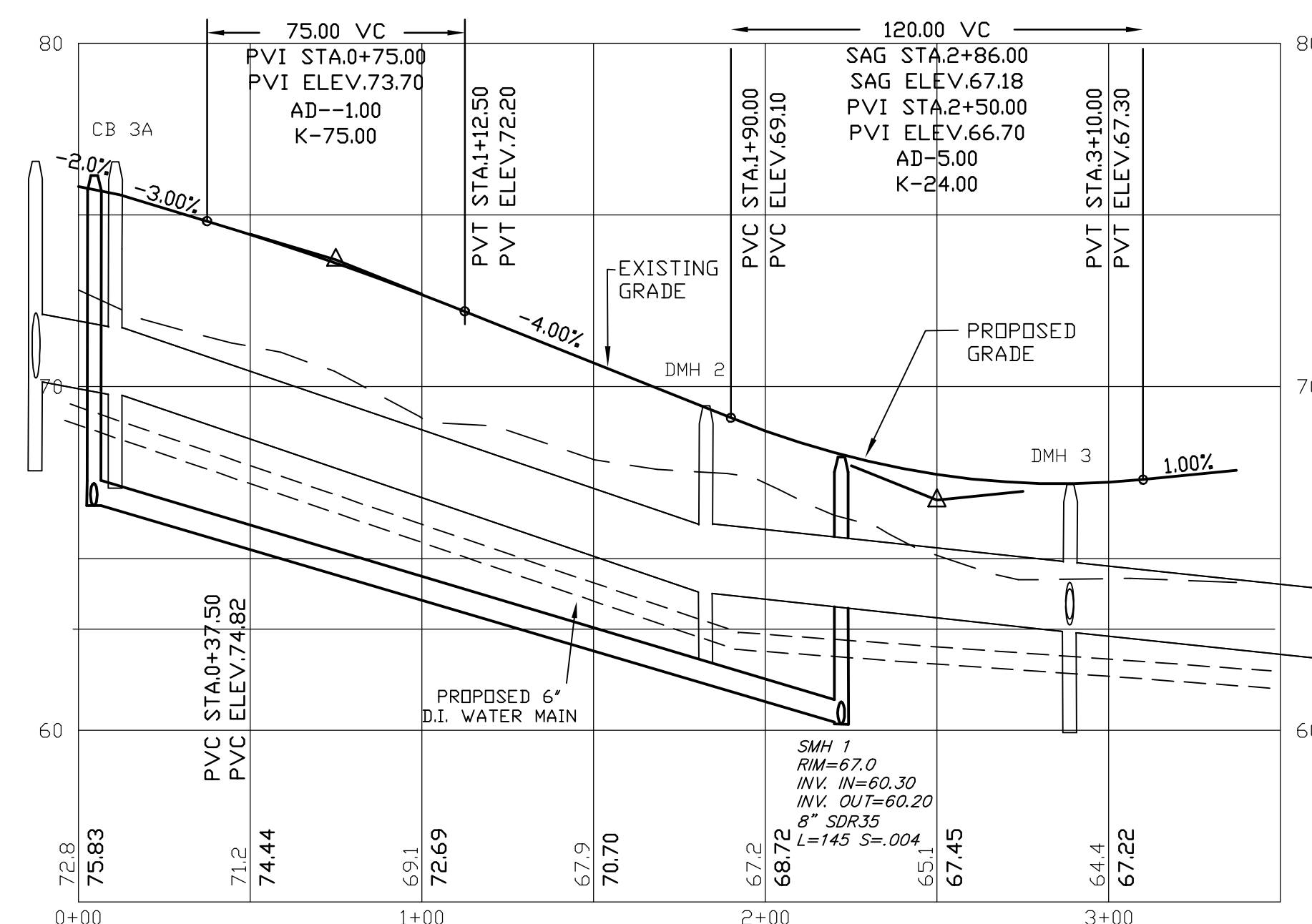
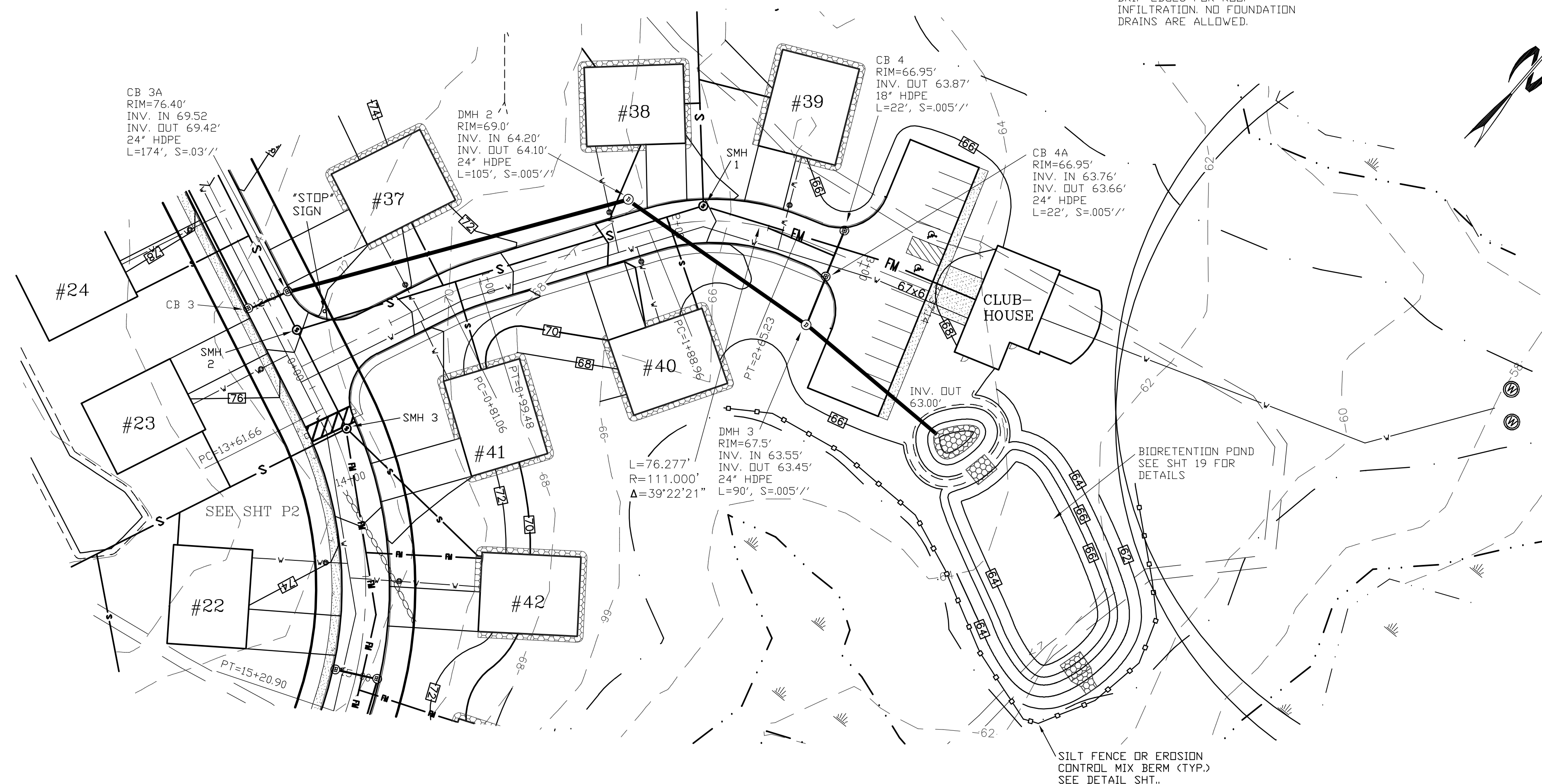


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BEAL
ASSOCIATES, P.C.

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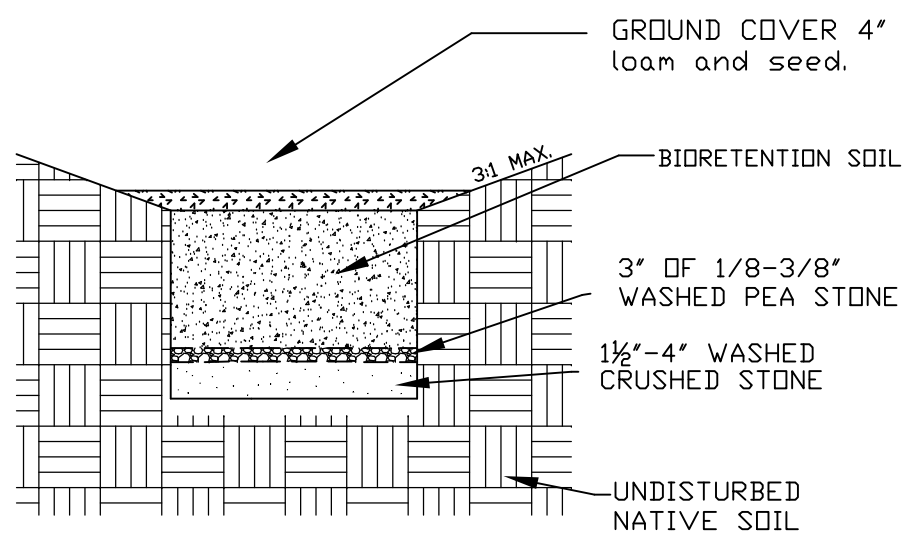
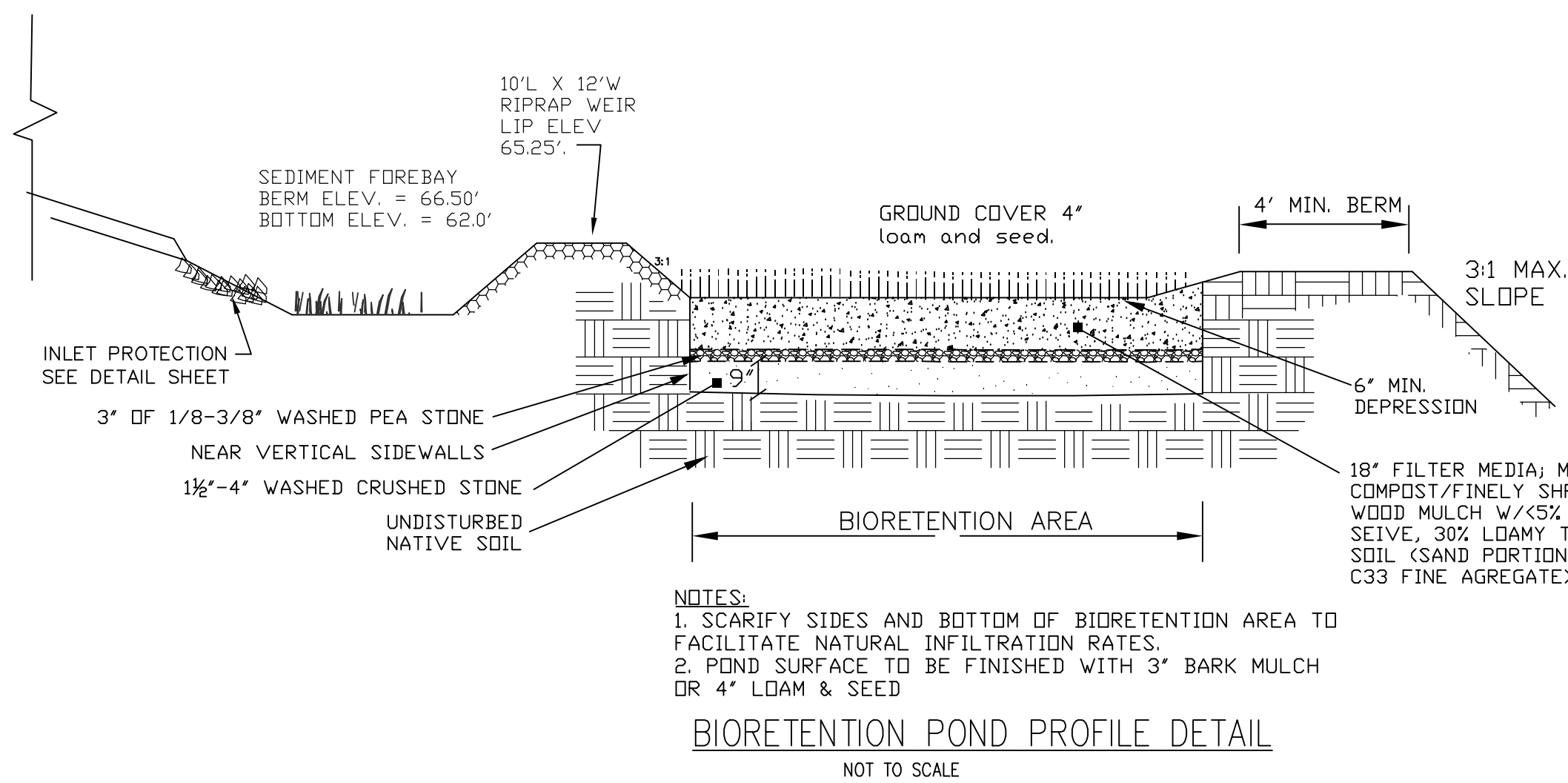
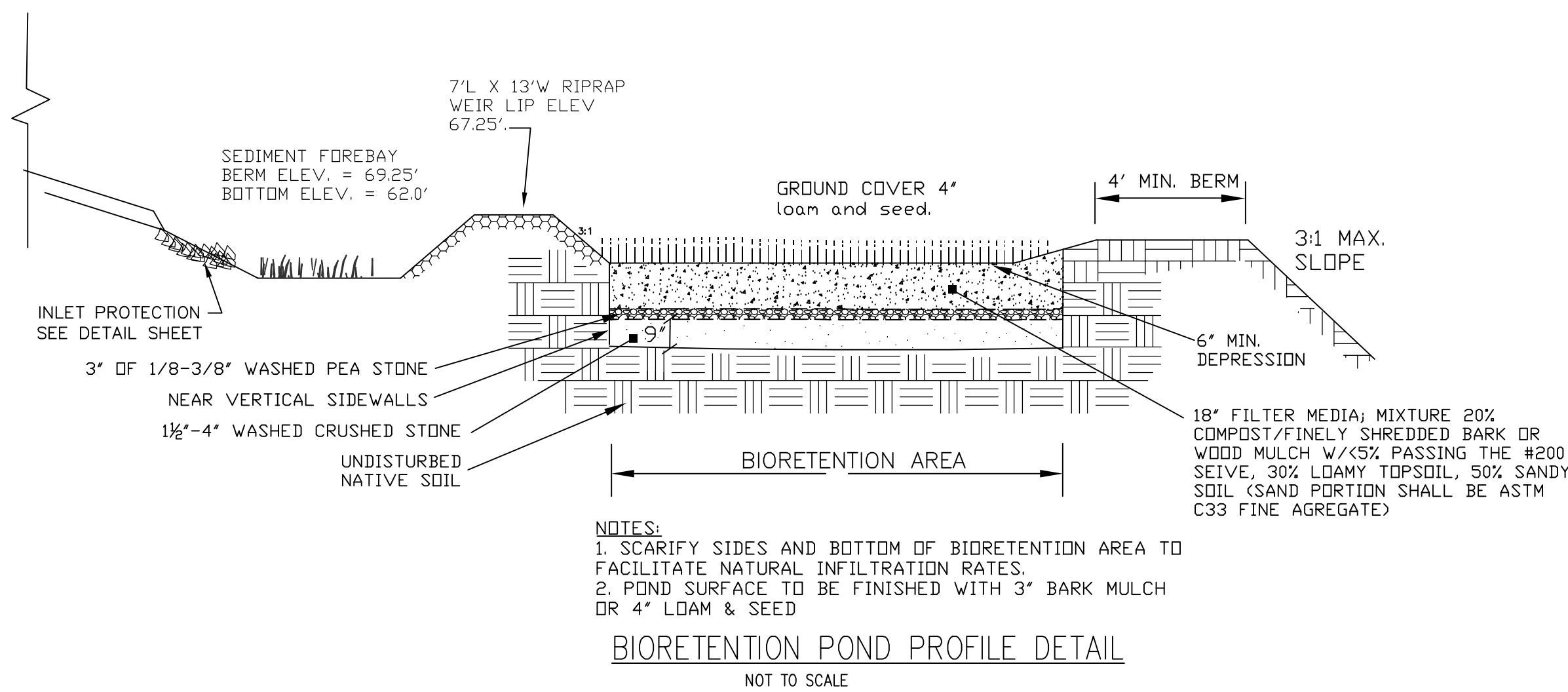
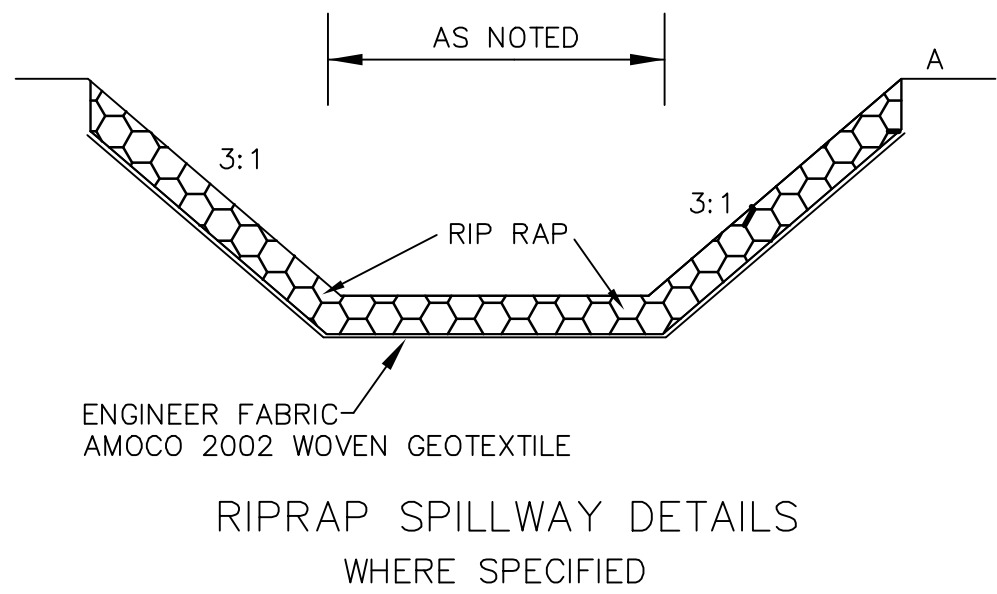
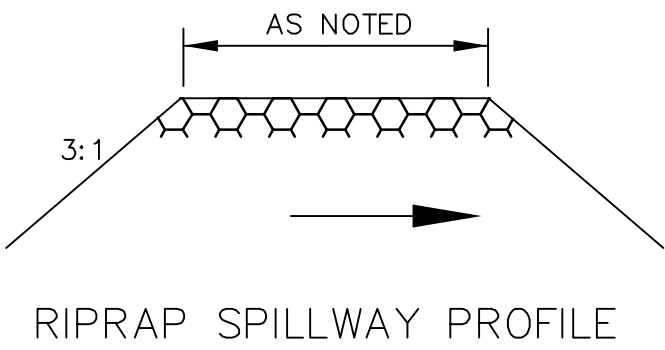
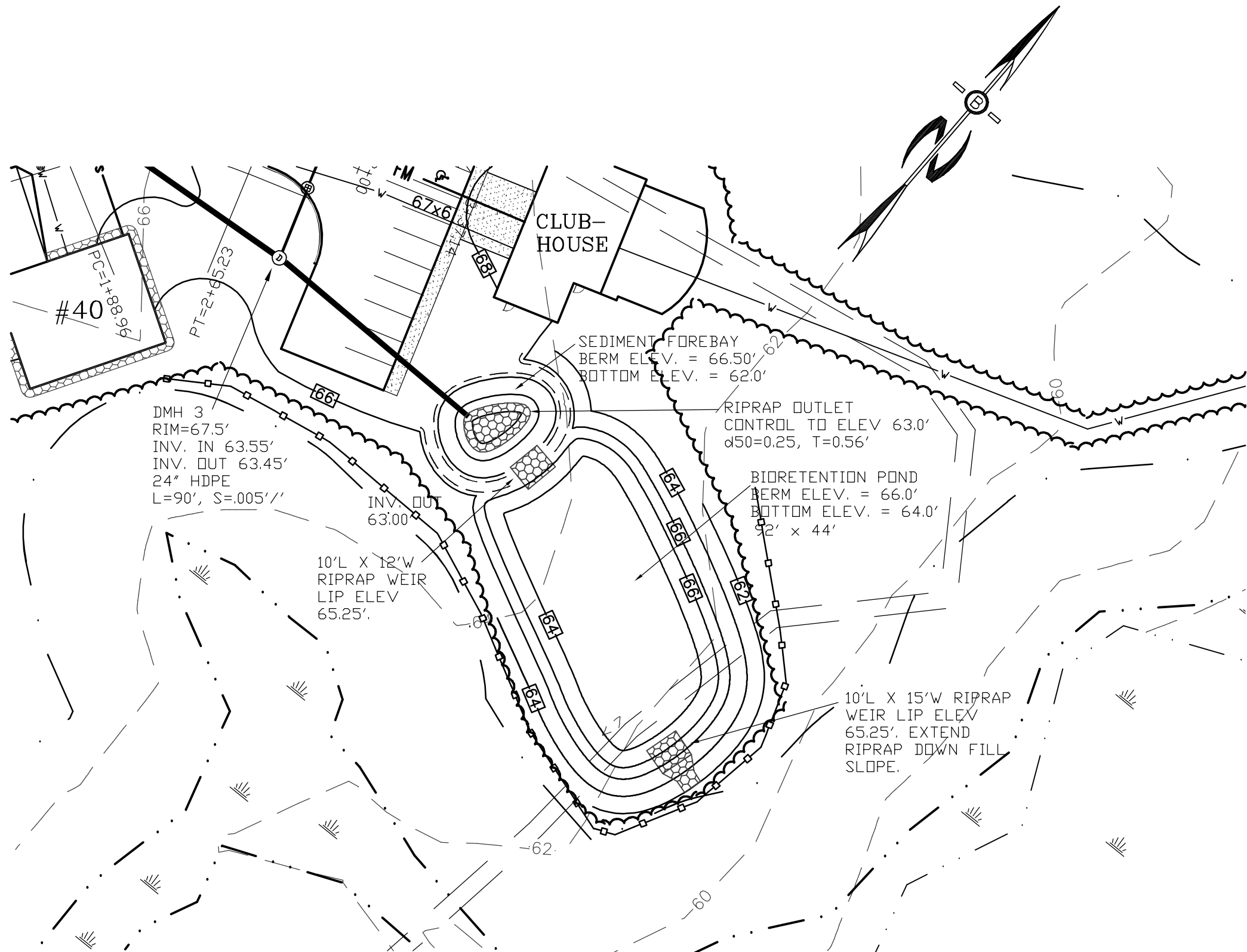
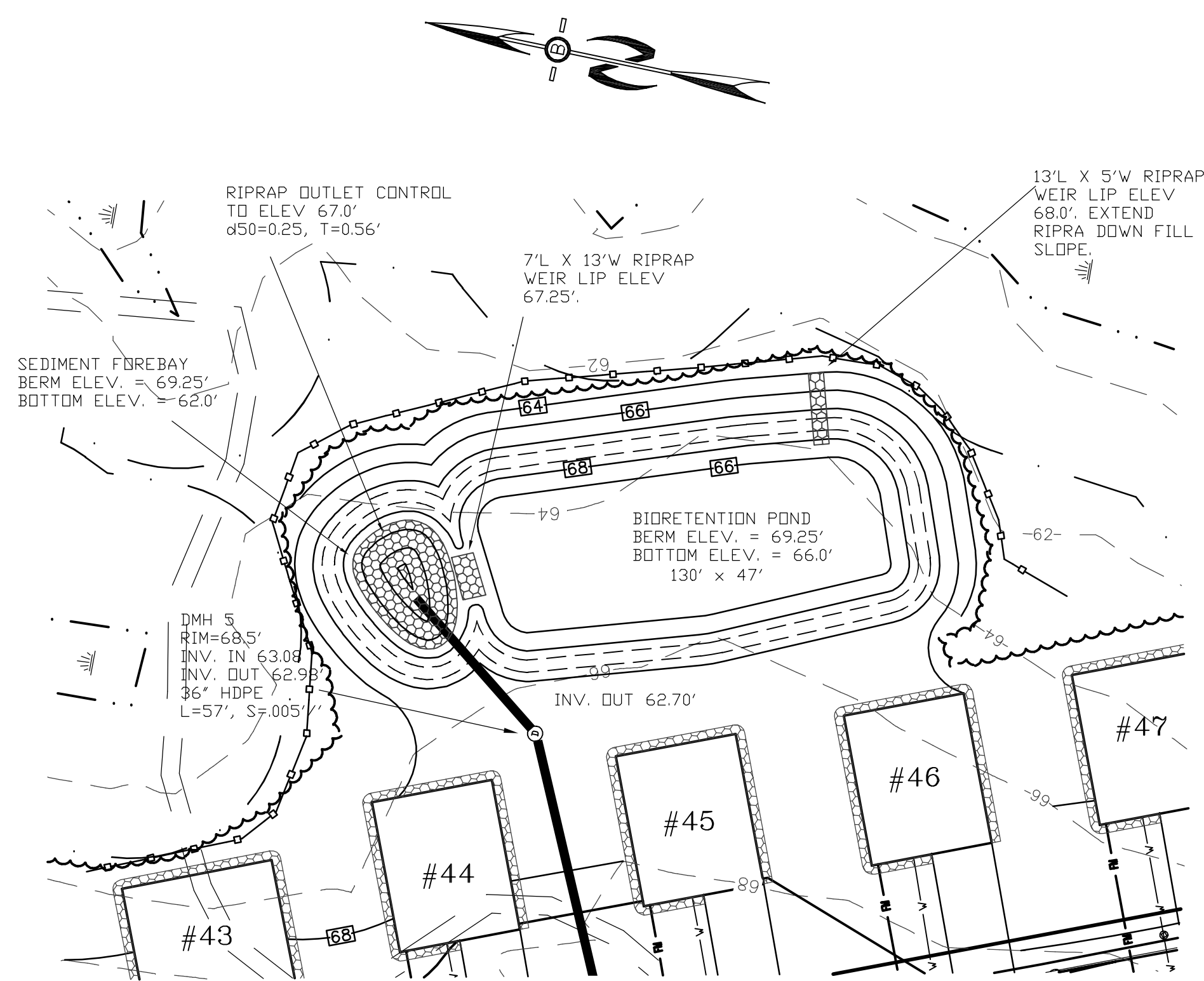
| | | |
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| | | |
| | | |
| | | |
| REVIEWS: | | DATE: |
| PLAN AND PROFILE-P5 | | |
| <p>PLAN FOR: RESIDENTIAL DEVELOPMENT TOWER PLACE GREENLAND, NH</p> | | |
| DATE: | NOV 2021 | SCALE: 1" = 40' |
| PROJ. NO: | NH-1360 | SHT NO. 18 |

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DRAINAGE NOTES:

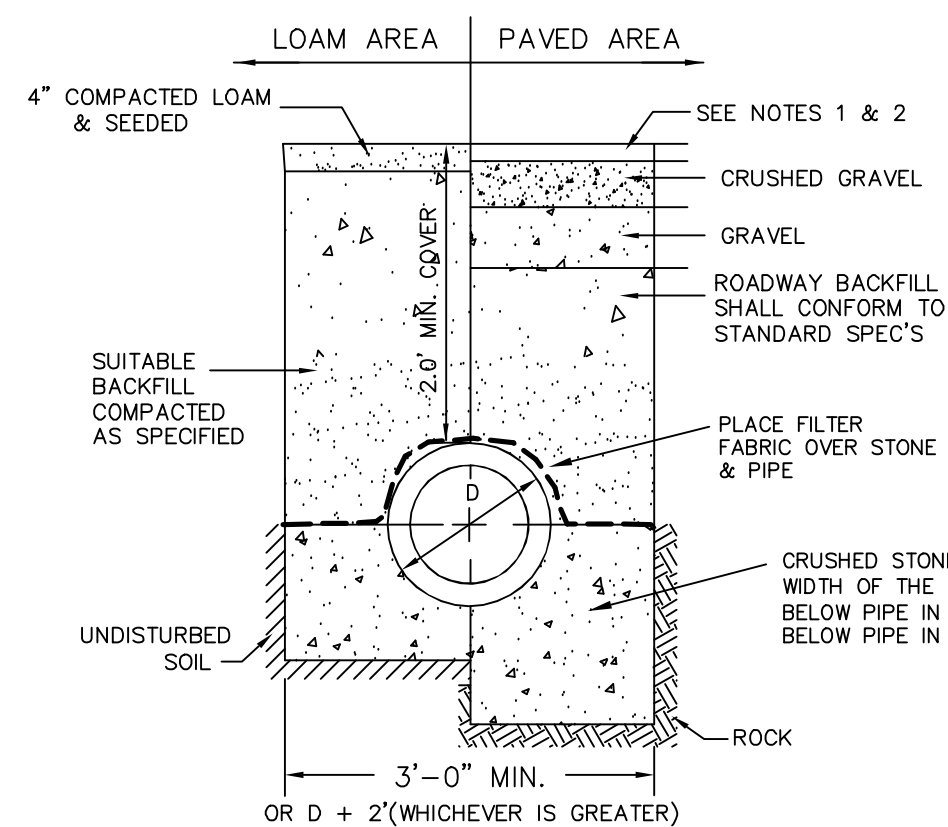
DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATION WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.

DO NOT PLACE SYSTEM INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE BIO-RETENTION AREA DURING ANY STAGE OF CONSTRUCTION.

| | | | |
|------------|--|------------|--|
| REVISIONS: | | DATE: | |
| NOV 2021 | | 1" = 40' | |
| NH-1360 | | SHT NO. 19 | |

1. CONSTRUCT THE LEVEL SPREADER LIP ON A 0% GRADE TO INSURE UNIFORM SPREADING OF RUNOFF.
2. LEVEL SPREADER SHALL BE CONSTRUCTED ON UNDISTURBED SOIL AND NOT ON FILL.
3. THE ENTIRE LEVEL LIP AREA SHALL BE PROTECTED BY PLACING EXCELSIOR ENFORCER MATTING BENEATH THE STONE. EACH STRIP SHALL OVERLAP BY AT LEAST SIX INCHES.
4. THE FLOW FROM THE LEVEL SPREADER SHALL OUTLET ONTO STABILIZED AREAS. WATER SHOULD NOT RE-CONCENTRATE IMMEDIATELY BELOW THE SPREADER.
5. MAINTENANCE: THE LEVEL SPREADER SHOULD BE CHECKED PERIODICALLY AND AFTER EVERY MAJOR STORM TO DETERMINE IF THE LIP HAS BEEN DAMAGED AND THE DESIGN CONDITIONS HAVE NOT CHANGED. IF SEDIMENT OR DEBRIS ACCUMULATION SHOULD BE REMOVED. IF STONE REMOVAL HAS TAKEN PLACE ON THE LIP, THEN THE DAMAGE SHOULD BE REPAIRED.



NOTE:

1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPEC'S.

Technical drawing of a traffic cone showing three views: TOP VIEW, FRONT VIEW, and RIGHT SIDE VIEW.

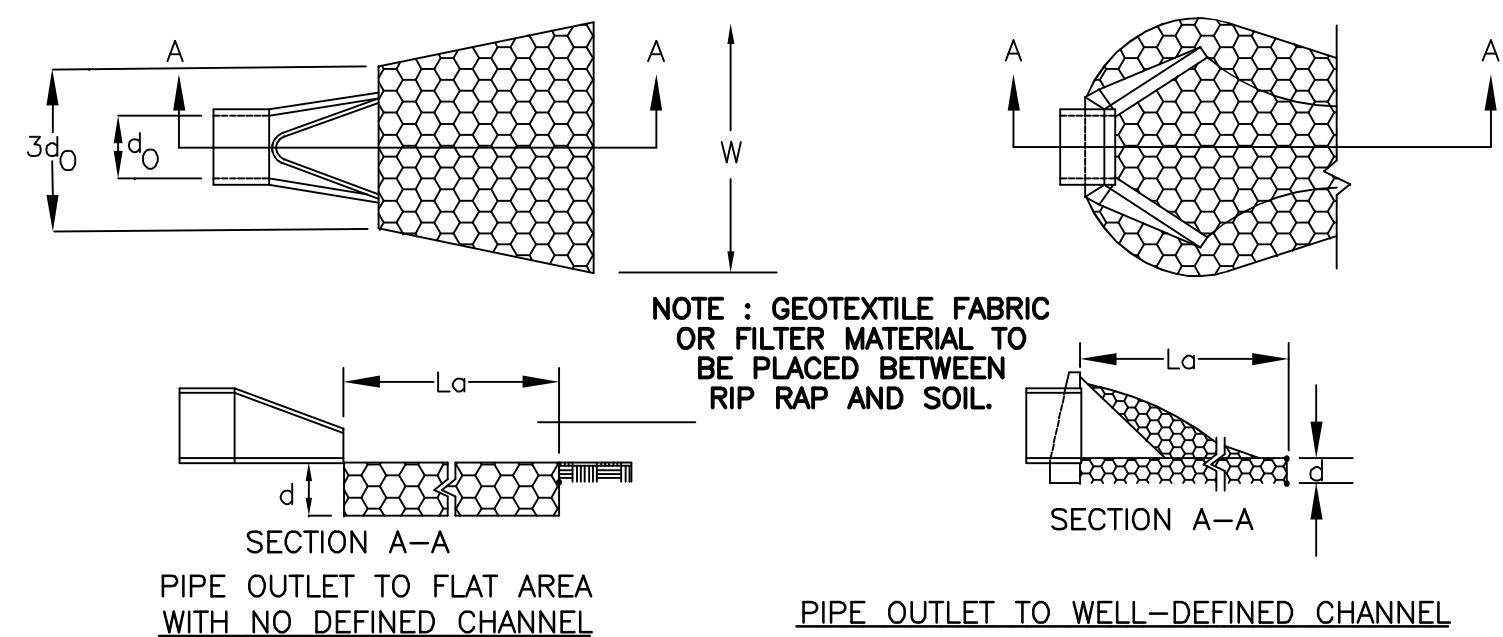
TOP VIEW: Shows the circular base of the cone. The total width is labeled W . The distance from the center to the edge of the base is labeled A . The width of the top flange is labeled B . The height of the cone is labeled L . A label points to the top flange: "PE THREADED ROD W/ WING NUTS (SEE NOTE)".

FRONT VIEW: Shows the cone's profile. The top flange is a semi-circle. The base is a horizontal line. The height is labeled L .

RIGHT SIDE VIEW: Shows the cone's profile from the side. The top flange is a rectangle. The base is a horizontal line. The height is labeled L .

| PART No. | PIPE SIZE | A | B(MAX) | H | L | W |
|----------|---------------|-----------------|---------------|----------------|----------------|----------------|
| 1510-NP | 15" 375 mm | 6.5" 165 mm | 10" 254 mm | 6.5" 165 mm | 25" 635 mm | 29" 735 mm |
| 1810-NP | 18" 450 mm | 7.5" 190 mm | 15" 380 mm | 6.5" 165 mm | 32" 812 mm | 35" 890 mm |
| 2410-NP | 24" 600 mm | 7.5" 190 mm | 18" 450 mm | 6.5" 165 mm | 36" 900 mm | 45" 1140 mm |
| 3010-NP | 30" 750 mm | 10.5" 266 mm | N/A | 7.0" 178 mm | 53" 1345 mm | 68" 1725 mm |
| 3610-NP | 36" 900 mm | 10.5" 266 mm | N/A | 7.0" 178 mm | 53" 1345 mm | 68" 1725 mm |

ADS N-12 FLARED END SECTIONS
NOT TO SCALE (ALL DIMENSIONS ARE NOMINAL)



CONSTRUCTION SPECIFICATIONS

1. THE SUB GRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
2. THE ROCK OR GRAVEL USED FOR FILTER OF RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION. 3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK OR RIP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
5. STONE FOR RIPRAP SHALL BE ANGULAR OR SUBANGULAR. THE STONES SHOULD BE SHAPED SO THAT THE LEAST DIMENSION OF THE STONE FRAGMENT SHALL BE ONE THIRD OF THE MAXIMUM DIMENSION OF THE FRAGMENT.
6. FLAT ROCKS SHALL NOT USED FOR RIP RAP. VOIDS IN THE ROCK RIPRAP SHOULD BE FILLED WITH SPALLS AND SMALLER ROCKS.

MAINTENANCE

1. THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO OUTLET PROTECTION.

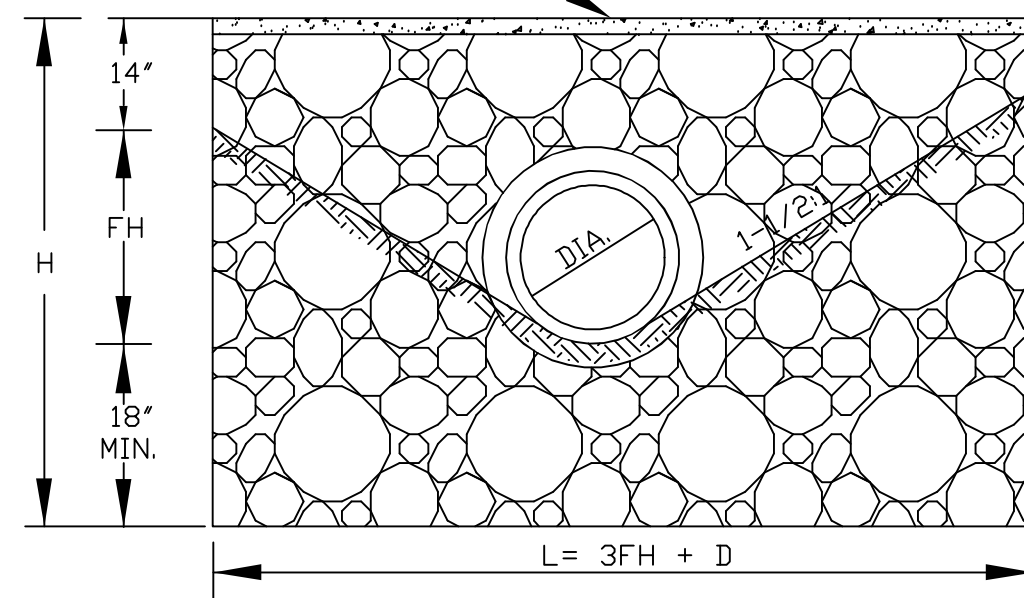
Figure 1 consists of two schematic diagrams illustrating the experimental setup. The top diagram shows a cross-section of a pipe with diameter $D1A$, surrounded by rip rap. The bottom diagram shows a cross-section of a seed bed with a width W , surrounded by rip rap. A 12° angle is indicated between the seed bed surface and the horizontal. Labels include PIPE, RIP RAP, $D1A$, 12° , W , and RIP R.

| DIA. | HEADWALL LENGTH | HEADWALL HEIGHT | FILL HEIGHT | PIPE COVER | HEADWALL BOTTOM WIDTH |
|------|-----------------|-----------------|-------------|------------|-----------------------|
| D | L | H | FH | C | W |
| 15" | 6'-0" | 4'-3" | 1'-7" | 1'-6" | 2'-1" |
| 18" | 7'-0" | 4'-6" | 1'-10" | 1'-6" | 2'-2" |
| 24" | 9'-0" | 5'-0" | 2'-4" | 1'-6" | 2'-3" |
| 30" | 11'-0" | 5'-6" | 2'-10" | 1'-6" | 2'-5" |
| 36" | 13'-0" | 6'-0" | 3'-4" | 1'-6" | 2'-6" |
| 42" | 15'-9" | 6'-9" | 4'-1" | 1'-9" | 2'-9" |
| 48" | 17'-9" | 7'-3" | 4'-7" | 1'-9" | 2'-10" |

NOTE: 1. ALL DIMENSIONS GIVEN IN FEET AND INCHES EXCEPT PIPE DIAMETER.

2. PROVIDE BELL END AT INLET HEADWALL, AND SPIGOT END AT OUTLET END HEADWALL.

3. RIP-RAP SHALL BE SIZED TO RESIST THE TRACTIVE VELOCITY FORCES.

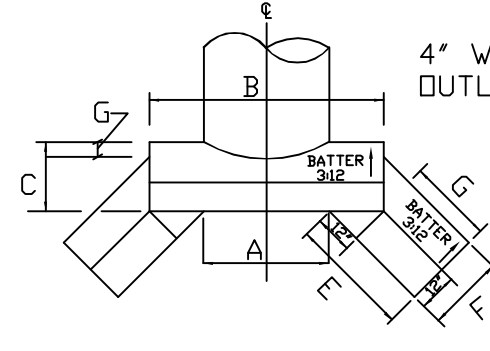


LONGITUDINAL SECTION

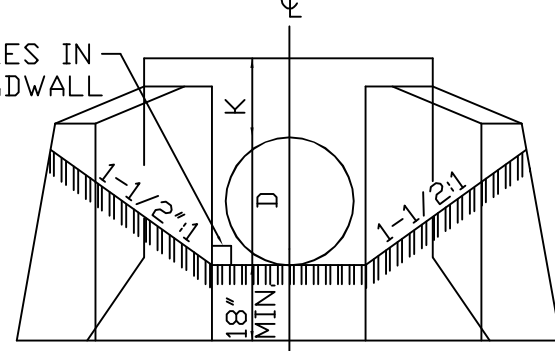
MORTAR RUBBLE, MASONRY HEADWALL DETAIL

NOT TO SCALE

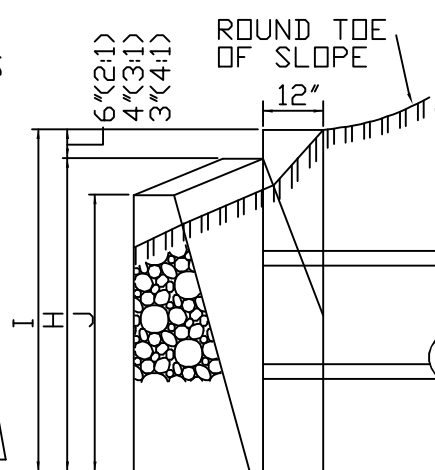
SEE SHEET D4 FOR BOX CULVERT HEADWALLS AND WINGWALLS



PLAN



END ELEVATION



SIDE ELEVATION

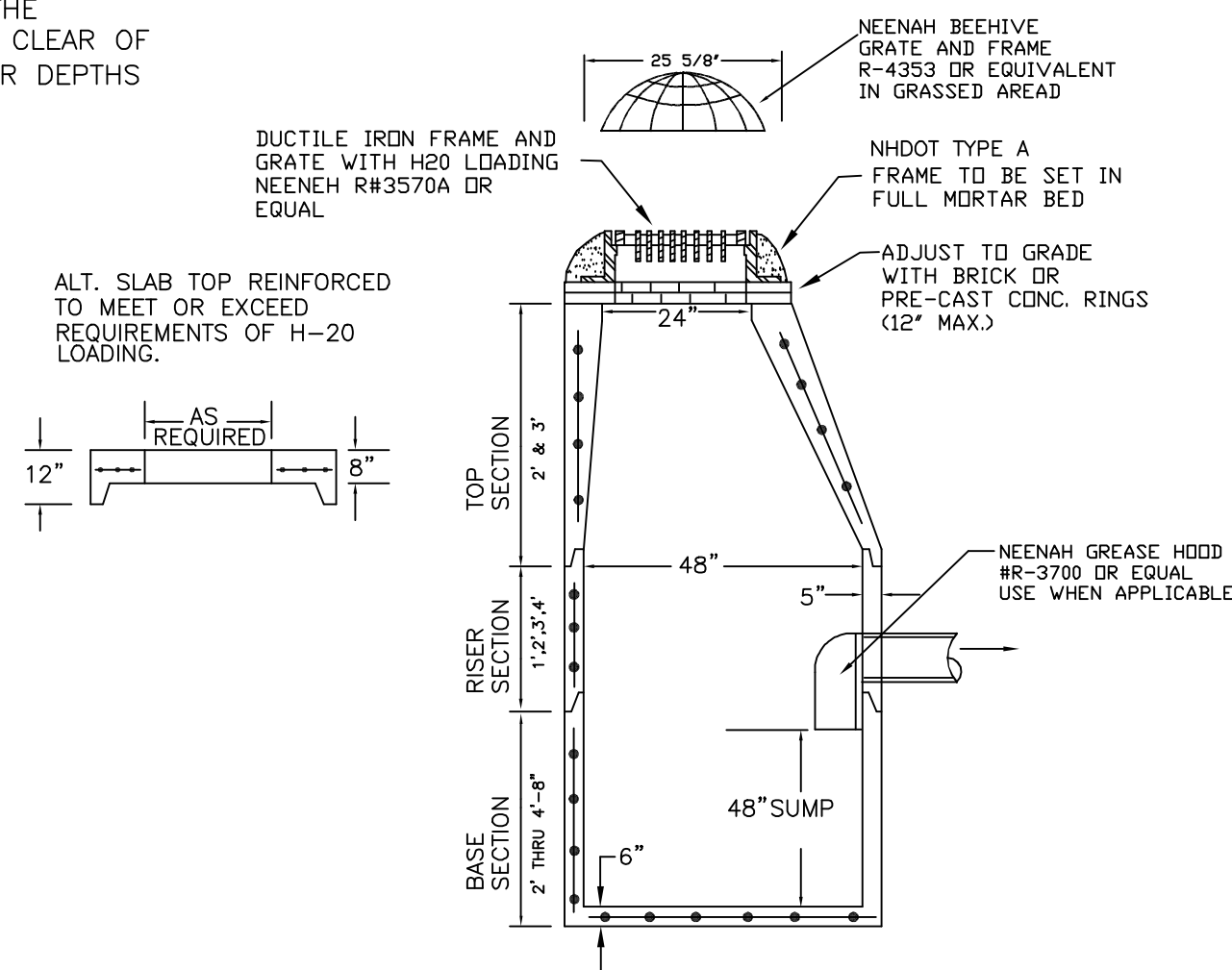
DIMENSIONS SHOWN ARE TO PAVEMENT LINES. MORTAR RUBBLE MASONRY TO BE STEPPED
OUTSIDE PAVEMENT LINES ON SLOPING FACES.

| D | A | B | C | E | F | G | H | I | J | K |
|-----|------|------|------|------|------|-----|-----|-----|------|-----|
| 24' | 2-6 | 5-4 | 2-3 | 2-11 | 1-11 | 0-6 | 5-0 | 4-6 | 3-10 | 1-6 |
| 30' | 3-6 | 5-11 | 2-5 | 3-6 | 2-0 | 0-5 | 5-6 | 5-0 | 4-1 | 1-6 |
| 36' | 3-8 | 6-6 | 2-6 | 4-1 | 2-1 | 0-4 | 6-0 | 5-6 | 4-4 | 1-6 |
| 42' | 4-3 | 7-1 | 2-8 | 5-0 | 2-2 | 0-3 | 6-9 | 6-3 | 4-10 | 1-9 |
| 48' | 4-10 | 7-8 | 2-10 | 5-8 | 2-3 | 0-2 | 7-3 | 6-9 | 5-1 | 1-9 |

NOT TO SCALE

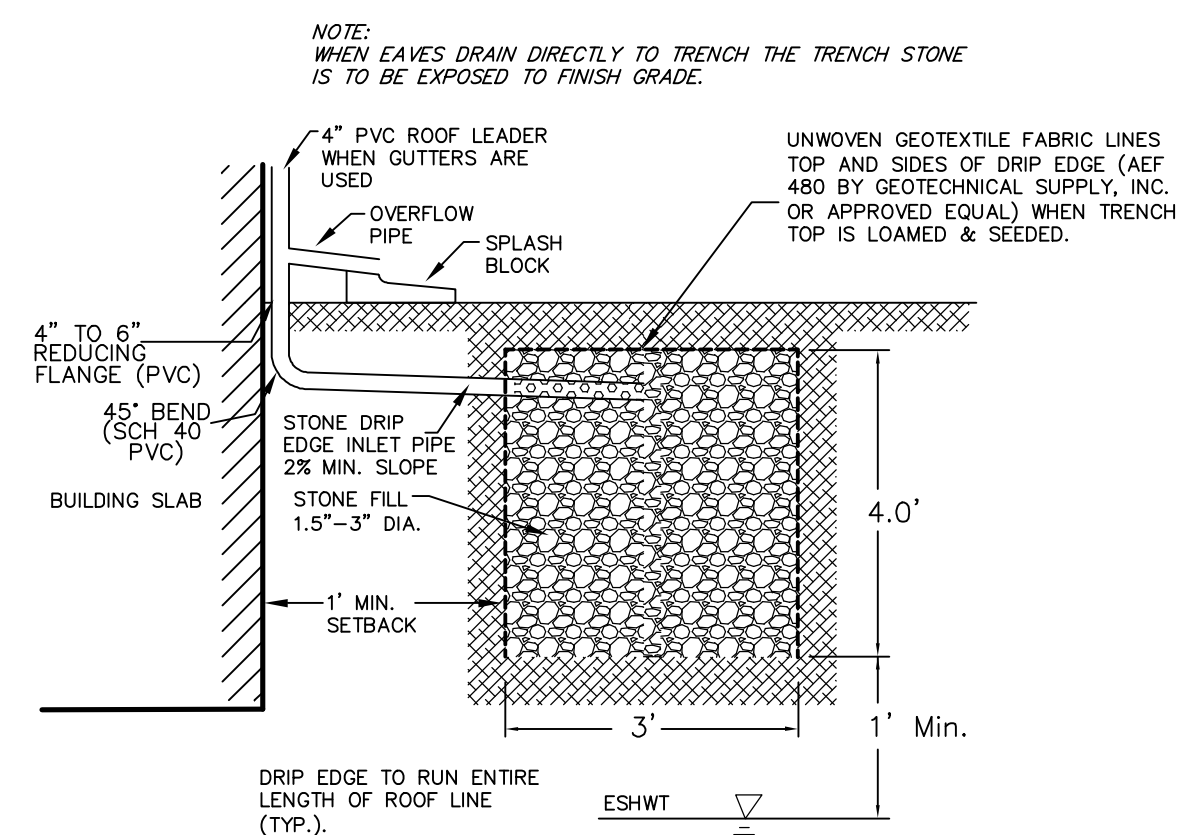
| THICKNESS OF RIP RAP = 0.50 FEET | | |
|--|-----------------------------|----------|
| 0.50 SIZE = | 0.50 FEET | 6 INCHES |
| % OF WEIGHT SMALLER THAN THE GIVEN 0.50 SIZE | SIZE OF STONE (INCHES) FROM | TO |
| 100% | 9 | 12 |
| 85% | 8 | 11 |
| 50% | 6 | 9 |
| 15% | 2 | 3 |

| TABLE 7-24-RECOMMENDED RIP RAP GRADATION RANGES | |
|---|-------------------------------|
| THICKNESS OF RIP RAP = 0.75 FEET | |
| Ø50 SIZE= 0.75 FEET | 9 INCHES |
| % OF WEIGHT SMALLER THAN THE GIVEN Ø50 SIZE | SIZE OF STONE(INCHES) FROM TO |
| 100% | 14 18 |
| 85% | 12 16 |
| 50% | 9 14 |
| 15% | 3 5 |



PRECAST CATCH BASIN

NOT TO SCALE



STONE DRIP EDGE SECTION

Diagram illustrating the construction of a trench for a 12" underdrain pipe. The trench is 12" wide and 12" deep. The trench is lined with 1/2" stone bed. The trench is surrounded by suitable gravel. The trench is wrapped with stone in filter fabric. The trench is located 12" outside the proposed edge of pavement. The trench is located 12" outside the proposed edge of pavement. The trench is located 12" outside the proposed edge of pavement.

PLAN FOR:
RESIDENTIAL DEVELOPMENT
TOWER PLACE
GREENLAND, NH

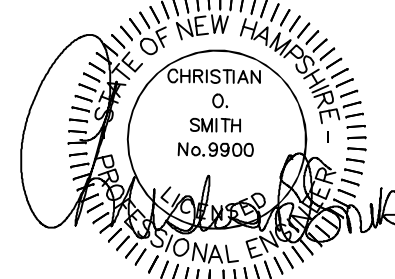
| | | | |
|-----------|----------|-----------|-------|
| DATE: | NOV 2021 | SCALE: | NOTED |
| PROJ. NO: | NH-1360 | SHEET NO. | 20 |

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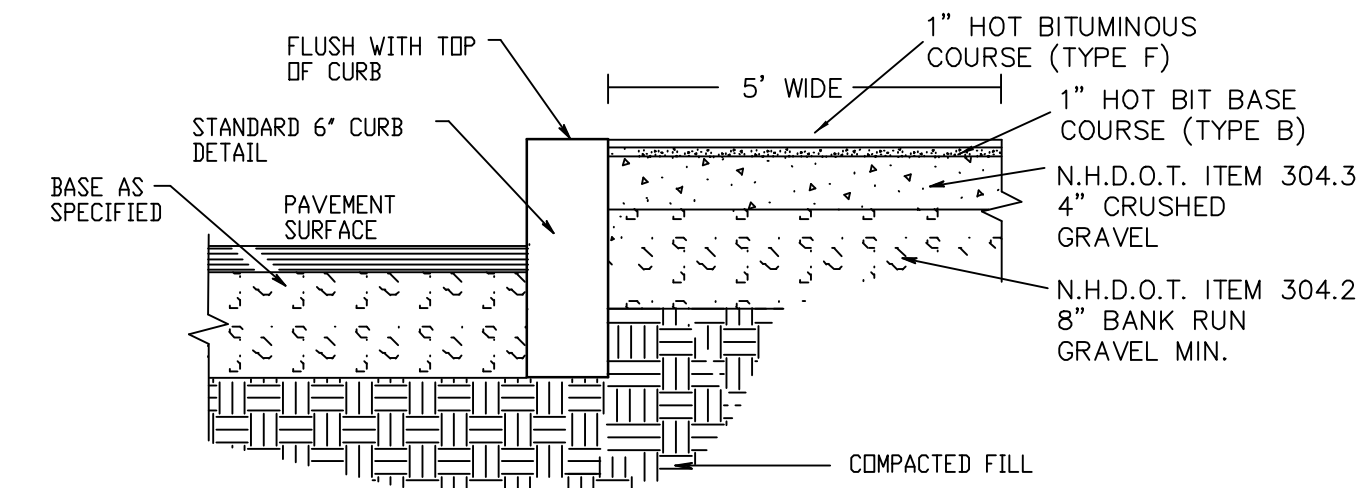
70 PORTSMOUTH AVE,
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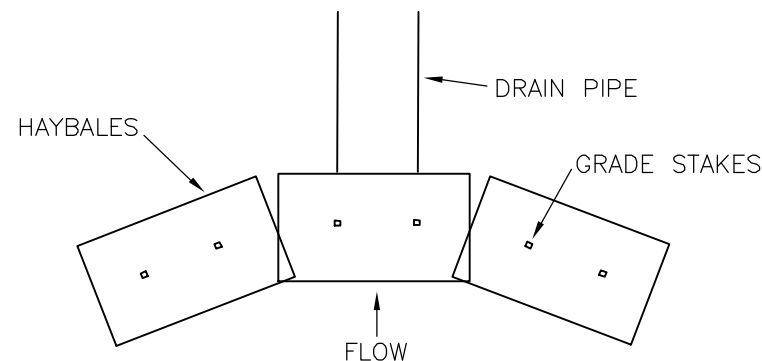
70 PORTSMOUTH AVE,
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STRATHAM, N.H. 03885
PHONE: 603-583-4860,
FAX: 603-583-4863



VERT. GRANITE CURB/BIT. SIDEWALK DETAIL

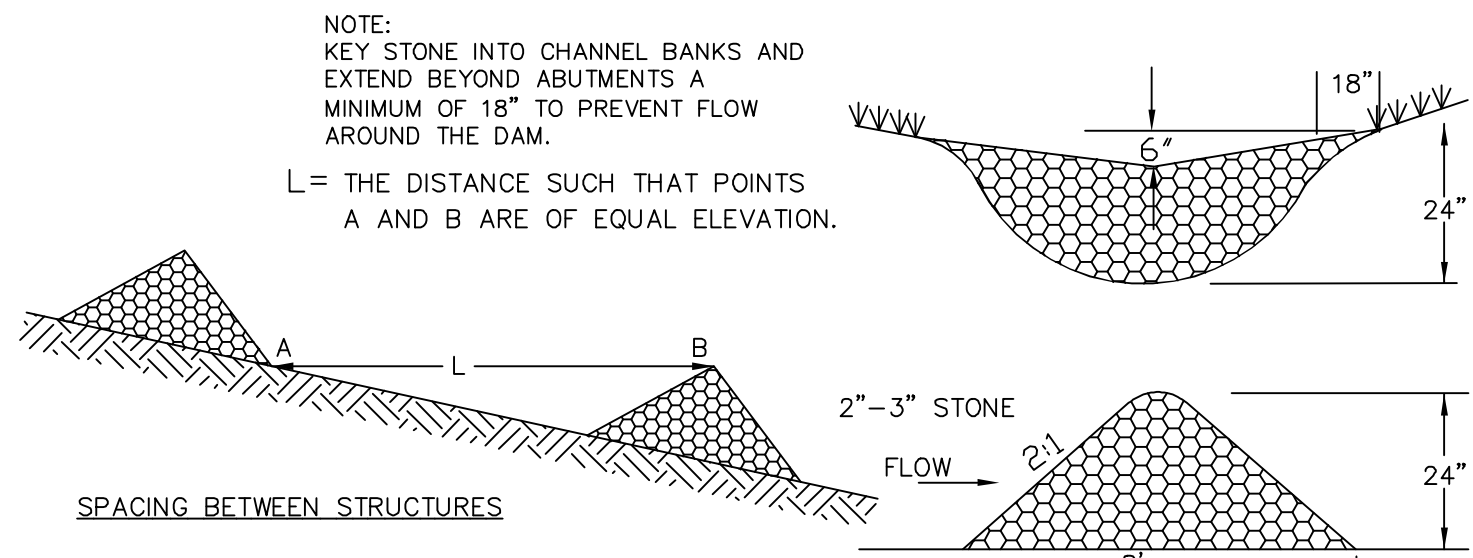
NOT TO SCALE

NOTE: GRAVEL SPECIFICATIONS FOR SIDEWALK ARE THE SAME FOR THE GRAVEL ACCESS PATHS.



PIPE INLET PROTECTION

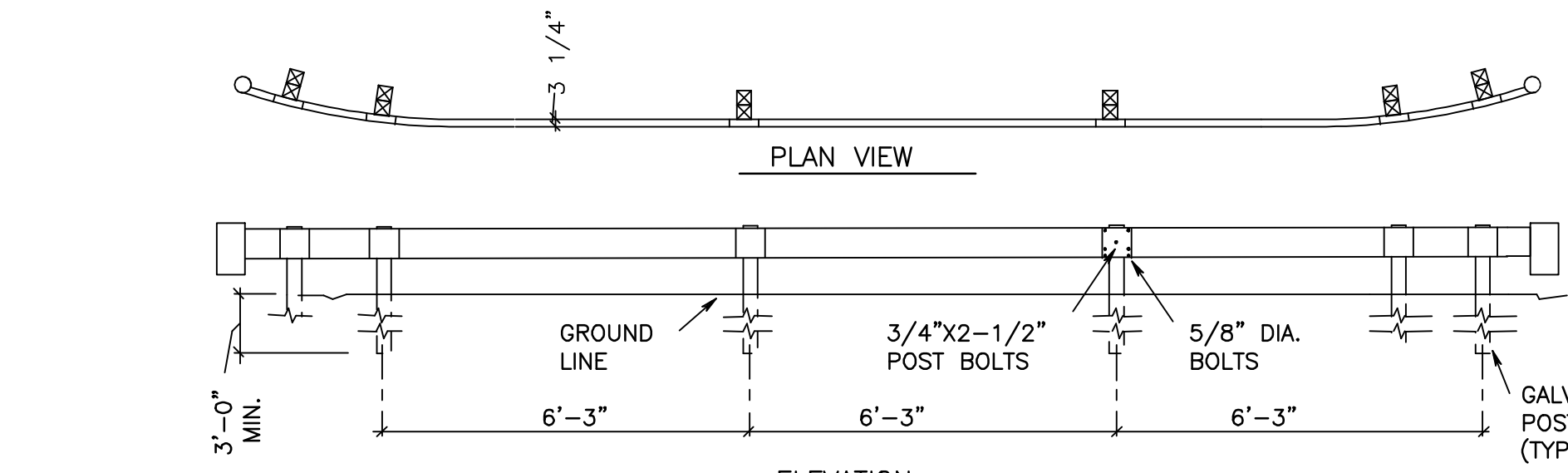
SPECIFICATIONS
Sediment barriers should be installed prior to any soil disturbance of the contributing drainage area above them. Bales should be placed in a single row, lengthwise on the contour, with ends of adjacent bales tightly abutting one another. The ends of the barrier should be flared up slope. Barriers should not be constructed more than one bale high. All bales should be either wire-bound or string-tied. Bales should be installed so that bindings are oriented around the sides, parallel to the ground surface to prevent deterioration of the bindings. The barrier should be entrenched and backfilled. A trench should be excavated the width of a bale and the length of the proposed barrier to a minimum depth of 4 inches. After the bales are staked and chinked, the excavated soil should be backfilled against the barrier. Backfill soil should conform to the ground level on the downhill side and should be built up 4 inches against the uphill side of the barrier. Ideally, bales should be placed 10 feet away from the toe of slope. At least two stakes driven through the bale and penetrating at least 18 inches into the ground, should securely anchor each bale. The first stake in each bale should be driven toward the previously laid bale to force the bales together. Stakes should be driven deep enough into the ground to securely anchor the bales. The gaps between bales should be chinked (filled by wedging) with hay to prevent water from escaping between the bales. Inspection should be frequent and repair or replacement should be made promptly as needed. Bale barriers should be removed when they have served their usefulness, but not before the upslope areas have been permanently stabilized.



TEMPORARY STONE CHECK DAM

MAINTENANCE
TEMPORARY GRADE STABILIZATION STRUCTURES SHOULD BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED STORMS. ANY NECESSARY REPAIRS SHOULD BE MADE IMMEDIATELY. PARTICULAR ATTENTION SHOULD BE GIVEN TO END RUN AND EROSION AT THE DOWNSTREAM TOE OF THE STRUCTURE. WHEN THE STRUCTURES ARE REMOVED, THE DISTURBED PORTION SHOULD BE BROUGHT TO THE EXISTING CHANNEL GRADE AND THE AREAS PREPARED, SEEDED AND MULCHED. WHILE THIS PRACTICE IS NOT INTENDED TO BE USED PRIMARILY FOR SEDIMENT TRAPPING, SOME SEDIMENT WILL ACCUMULATE BEHIND THE STRUCTURES. SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURES WHEN IT HAS ACCUMULATED TO ONE HALF OF THE ORIGINAL HEIGHT OF THE STRUCTURE.

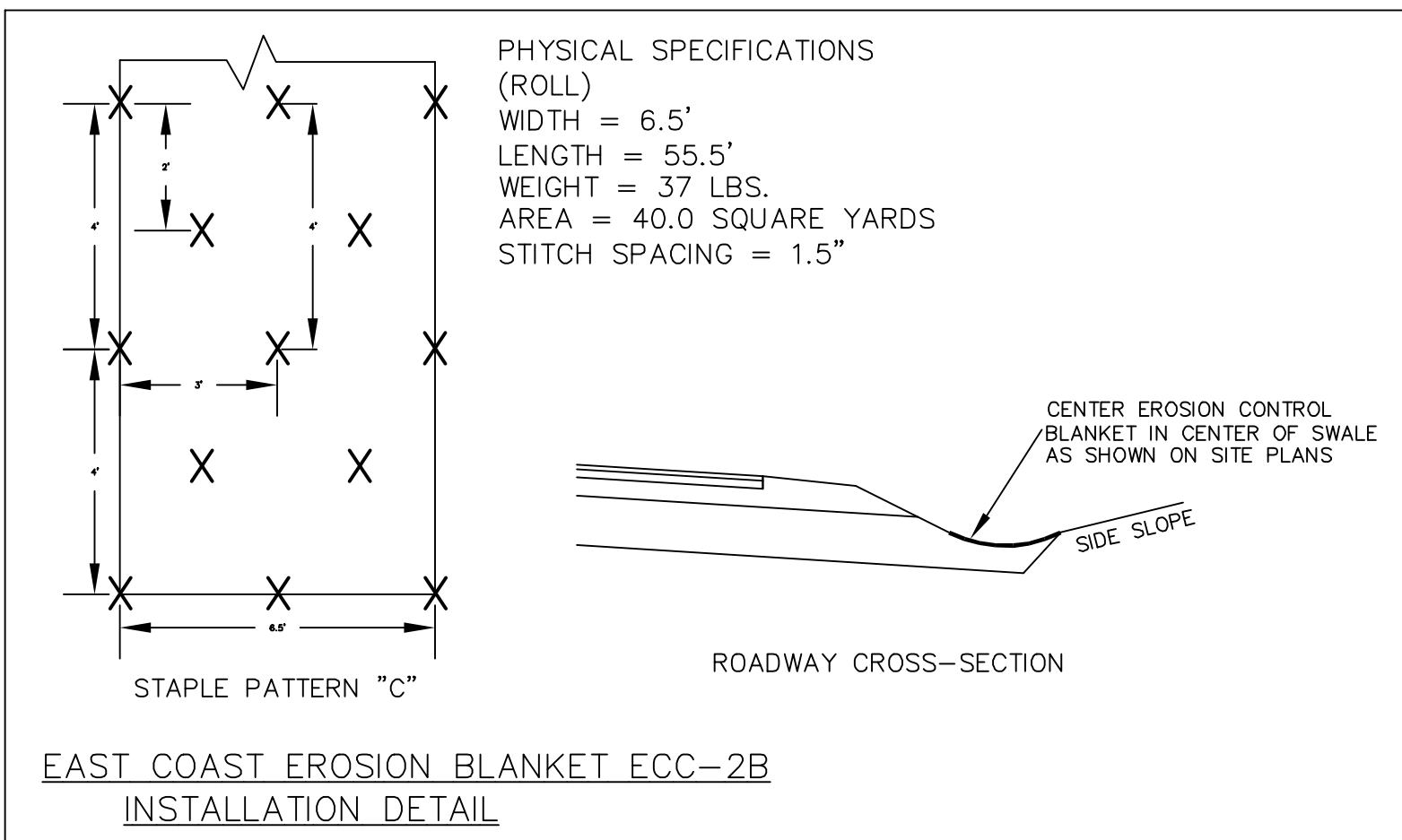
REMOVAL
AFTER VEGETATION HAS STABILIZED, THESE TEMPORARY STRUCTURES SHALL BE REMOVED WITH SPECIAL CARE AS TO AVOID DISTURBING ANY UNDERLYING EROSION CONTROL FABRIC AND/OR EXISTING VEGETATION.



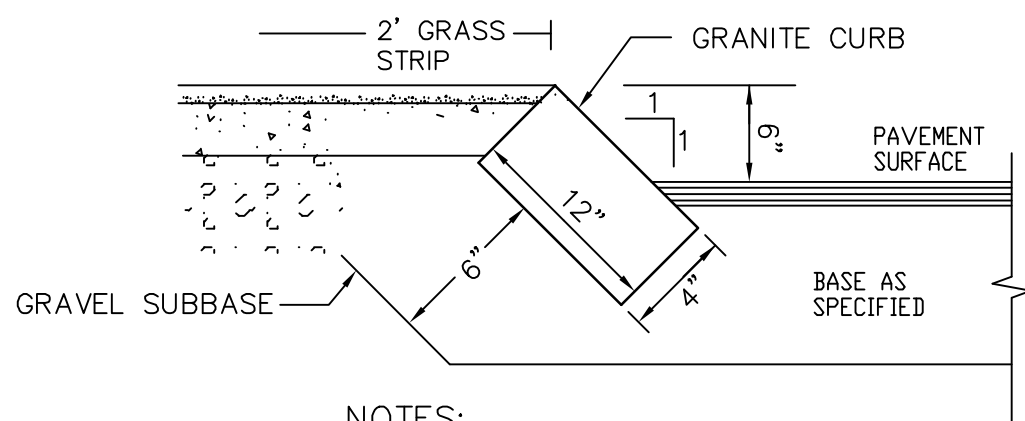
BEAM GUARD RAIL
STANDARD SECTION-GAL. STEEL POSTS
NOT TO SCALE

NOTES:

1. USE IN HEAVY TRAFFIC AREAS.
2. STEEL BRACKET TO BE 10 OR 12 GAGE STEEL.
3. USE 6'-0" POSTS WHEN FILL SLOPE IS 4:1 OR FLATTER
4. RAIL SHEET THICKNESS TO BE 12 GA.



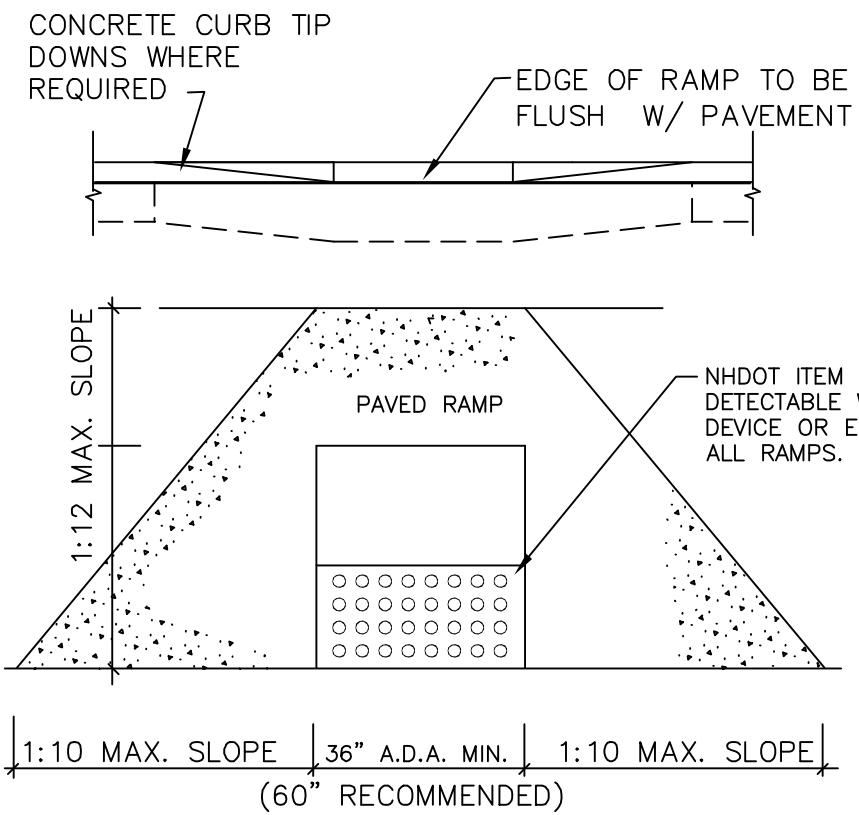
EAST COAST EROSION BLANKET ECC-2B
INSTALLATION DETAIL



- NOTES:
1. EDGING TO BE PLACED PRIOR TO PLACING TOP SURFACE COURSE.
 2. JOINTS BETWEEN STONES SHALL BE MORTARED.
 3. SALVAGE GRANITE CURBS ON-SITE AND RESET TO THE EXTENT POSSIBLE.

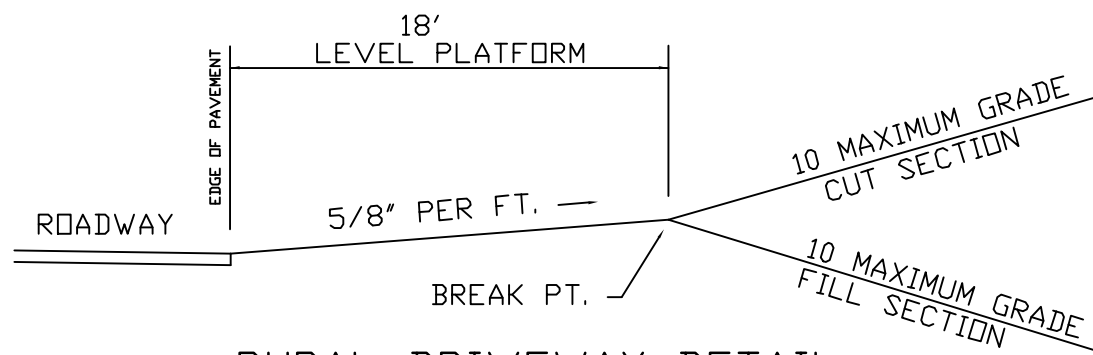
GRANITE SLOPE CURB DETAIL

NOT TO SCALE



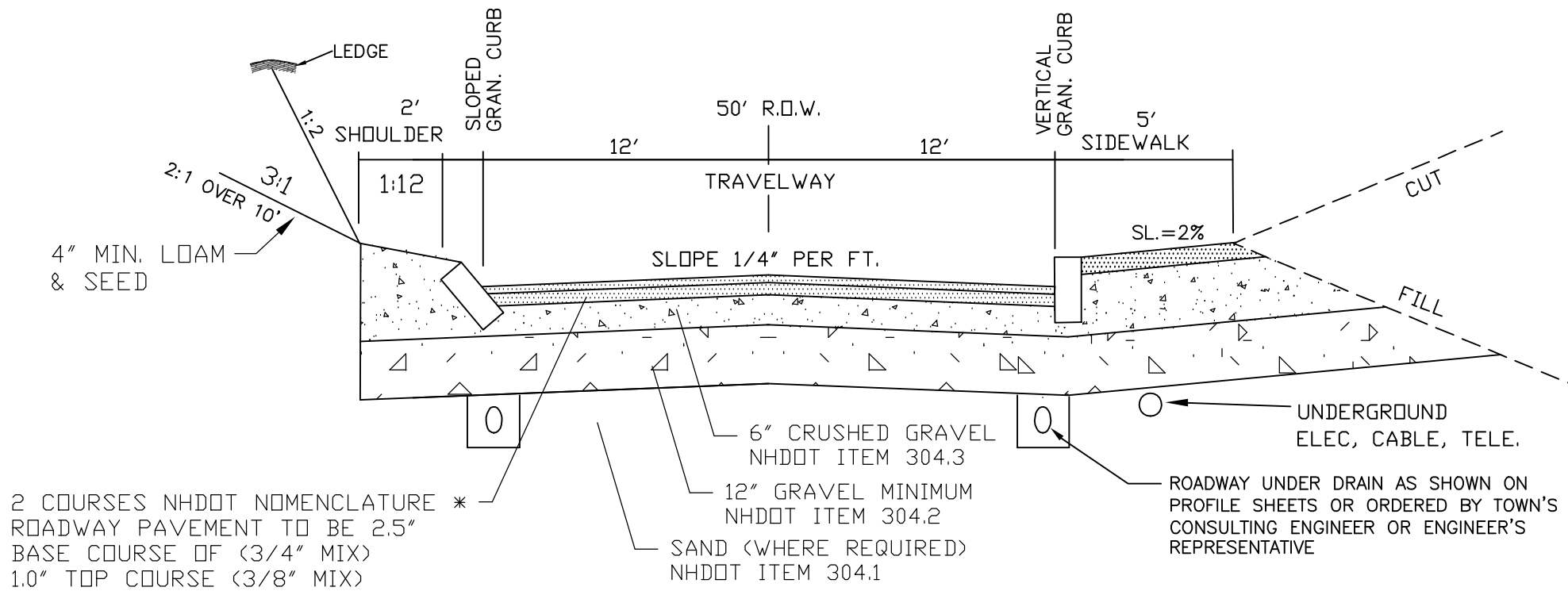
SIDEWALK RAMP DETAIL

NOT TO SCALE



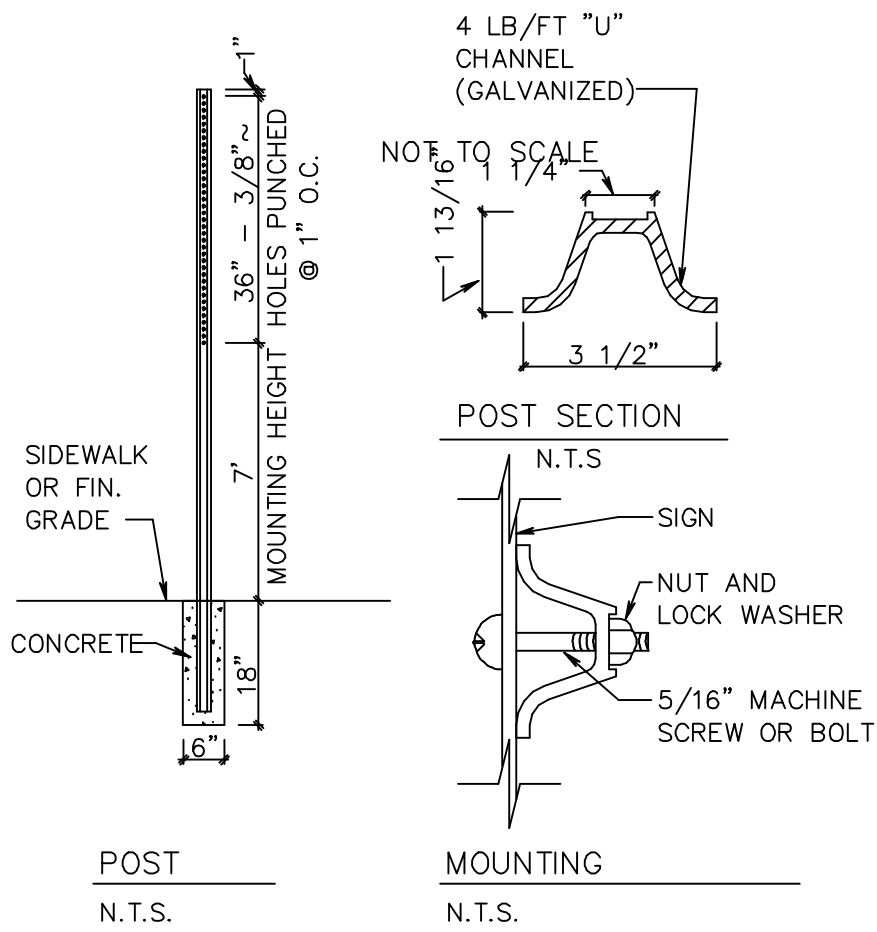
RURAL DRIVEWAY DETAIL

NOT TO SCALE



ALL MATERIALS TO BE INSPECTED AND APPROVED BY TOWN ENGINEER AND MEET NHDOT STANDARDS.
TOWN MAY REQUIRE UNDERDRAIN OR ADDITIONAL DRAINAGE TO INCLUDE OVER EXCAVATION OF UNSUITABLE MATERIALS AND INSTALLATION OF GEOTEXTILE FABRIC. SEE ADDITIONAL NOTES ON DETAIL SHEETS.

TYPICAL CROSS SECTION



STREET SIGN DETAIL

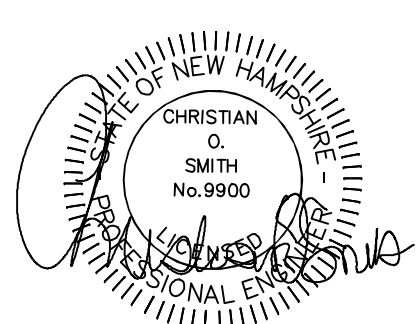
| TRAFFIC CONTROL SCHEDULE | | | | | | |
|--------------------------|----------------|--------------------|---------------------|-----------------|------------|--------------|
| SIGN NUMBER | SIGN | SIZE OF SIGN WIDTH | SIZE OF SIGN HEIGHT | DESCRIPTION | MOUNT TYPE | MOUNT HEIGHT |
| R1-1 | STOP | 30" | 30" | WHITE ON RED | CHANNEL | 7'-0" |
| R2-1 | SPEED LIMIT 25 | 18" | 24" | BLACK ON WHITE | CHANNEL | 7'-0" |
| 41-0342 | W | 30" | 30" | BLACK ON YELLOW | CHANNEL | 8'-6" |
| W14-2 | NO OUTLET | 24" | 24" | BLACK ON YELLOW | CHANNEL | 7'-0" |

REVISIONS: _____ DATE: _____

CONSTRUCTION DETAILS D2

PLAN FOR:
RESIDENTIAL DEVELOPMENT
TOWER PLACE
GREENLAND, NH

DATE: NOV 2021 SCALE: NOTED
PROJ. NO: NH-1360 SHEET NO. 21

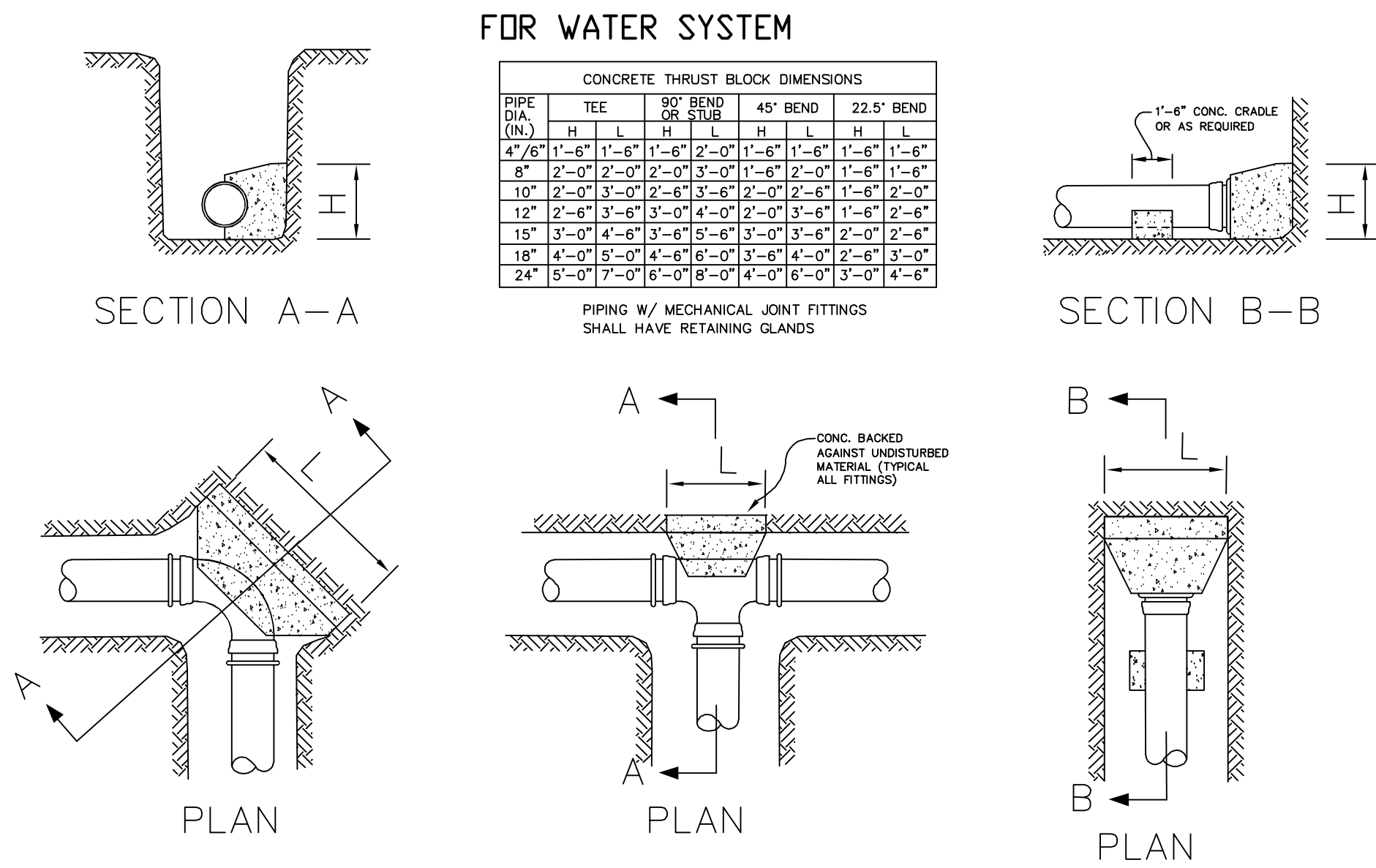


PREPARED FOR:

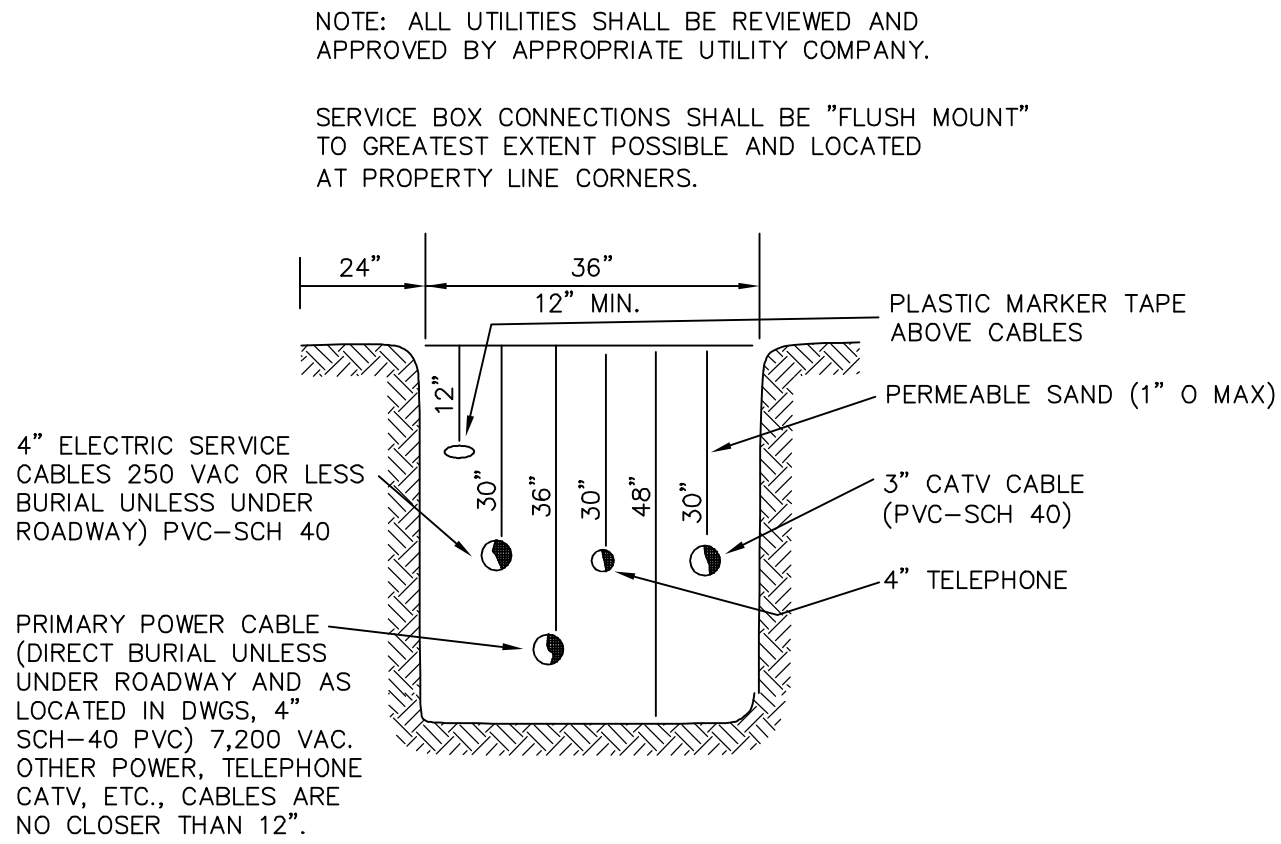
JOSEPH FALZONE
7B EMERY LANE
STRATHAM N.H. 03885

BA
BEALS
ASSOCIATES, PLLC

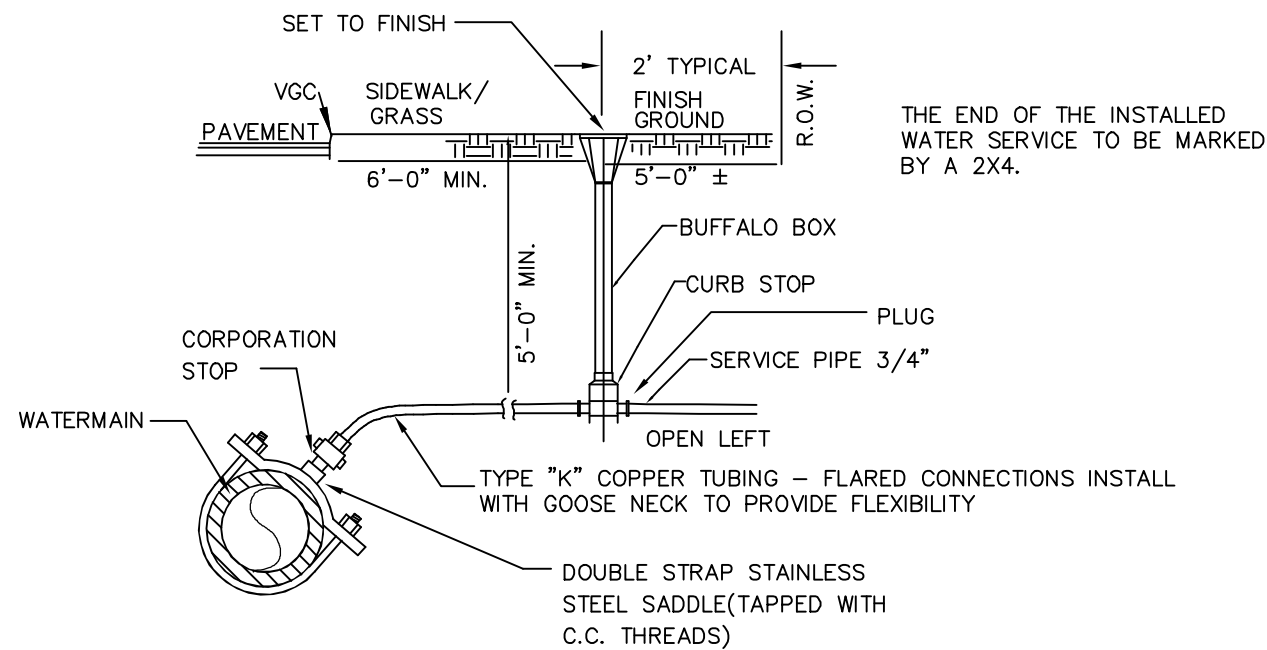
70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860,
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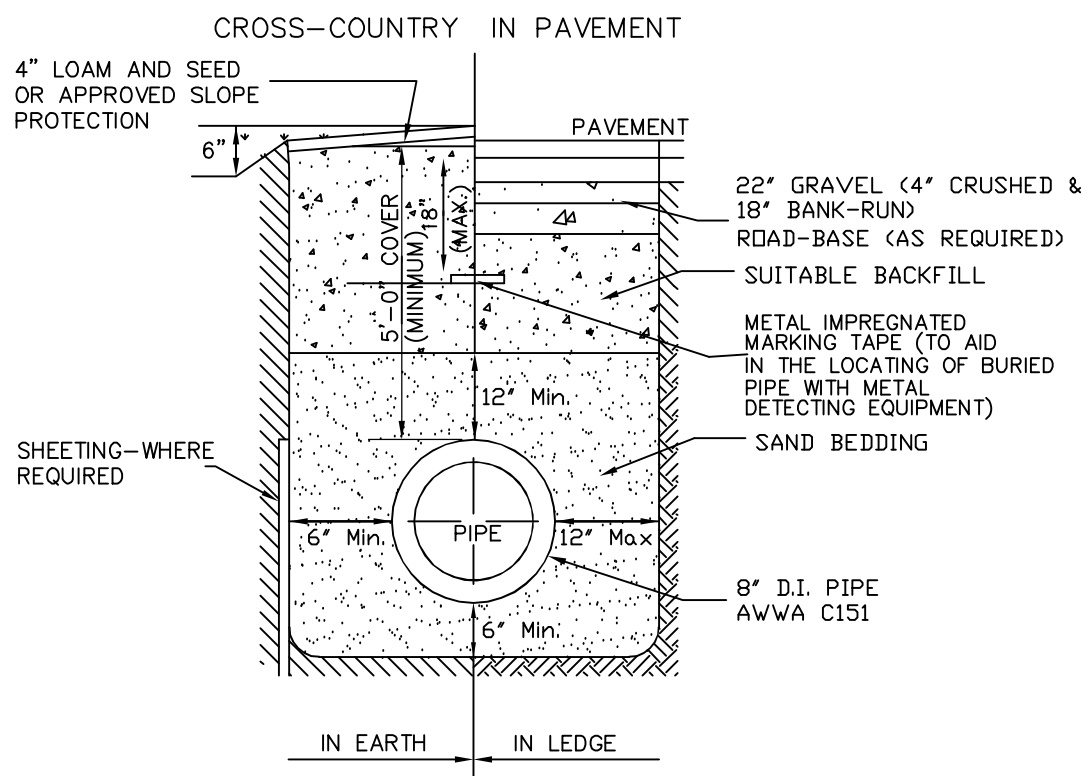
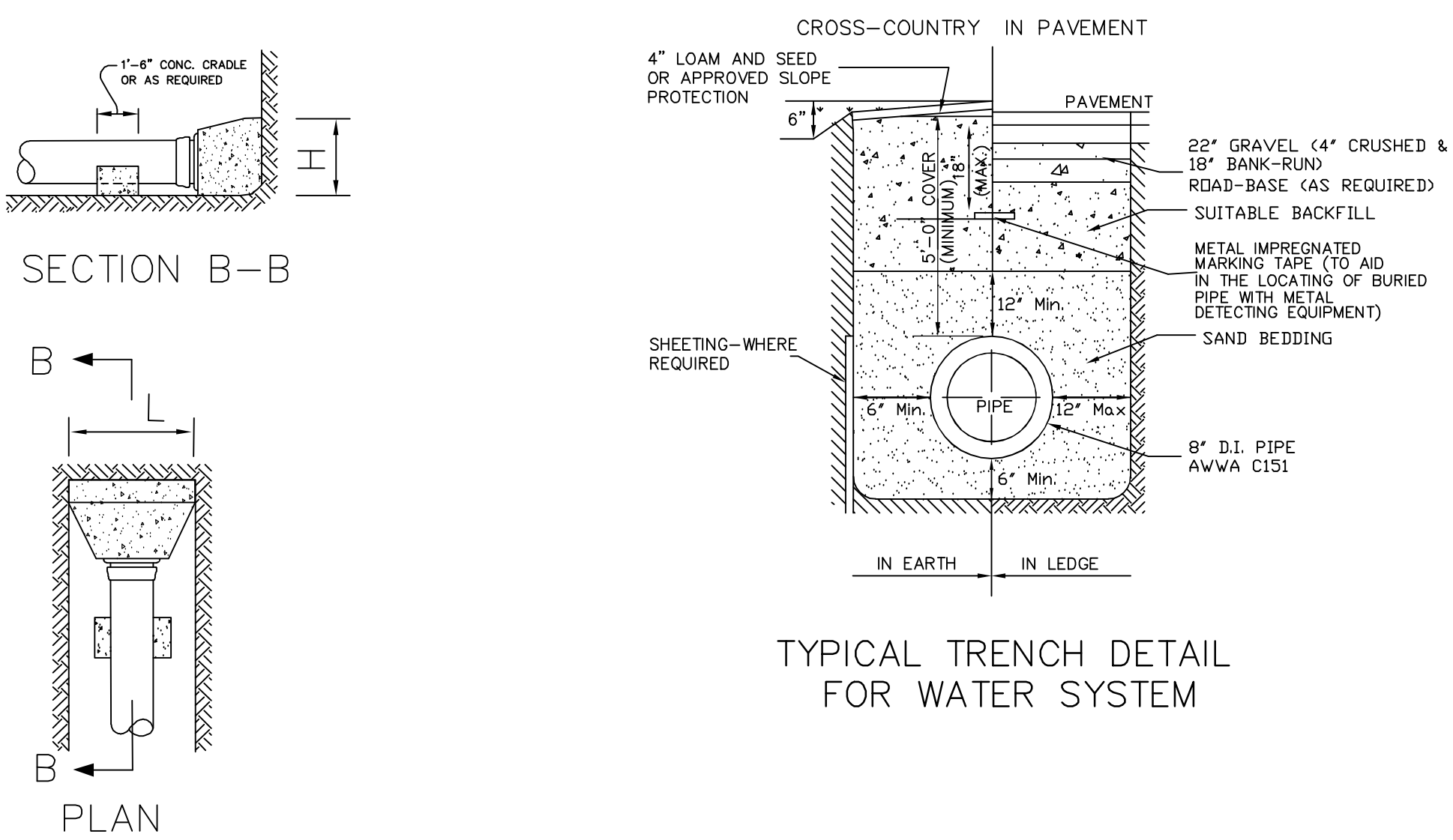
THRUST BLOCK DETAILS



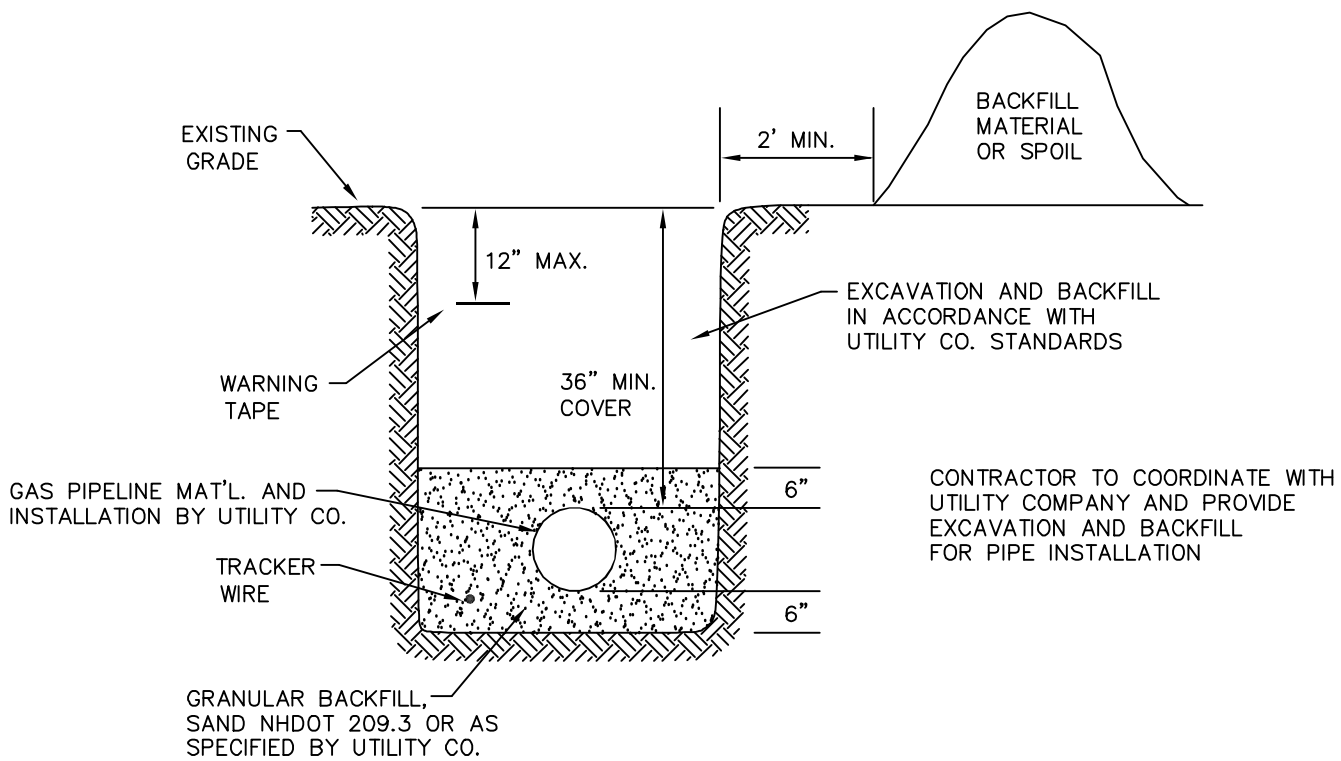
UTILITY TRENCH DETAIL



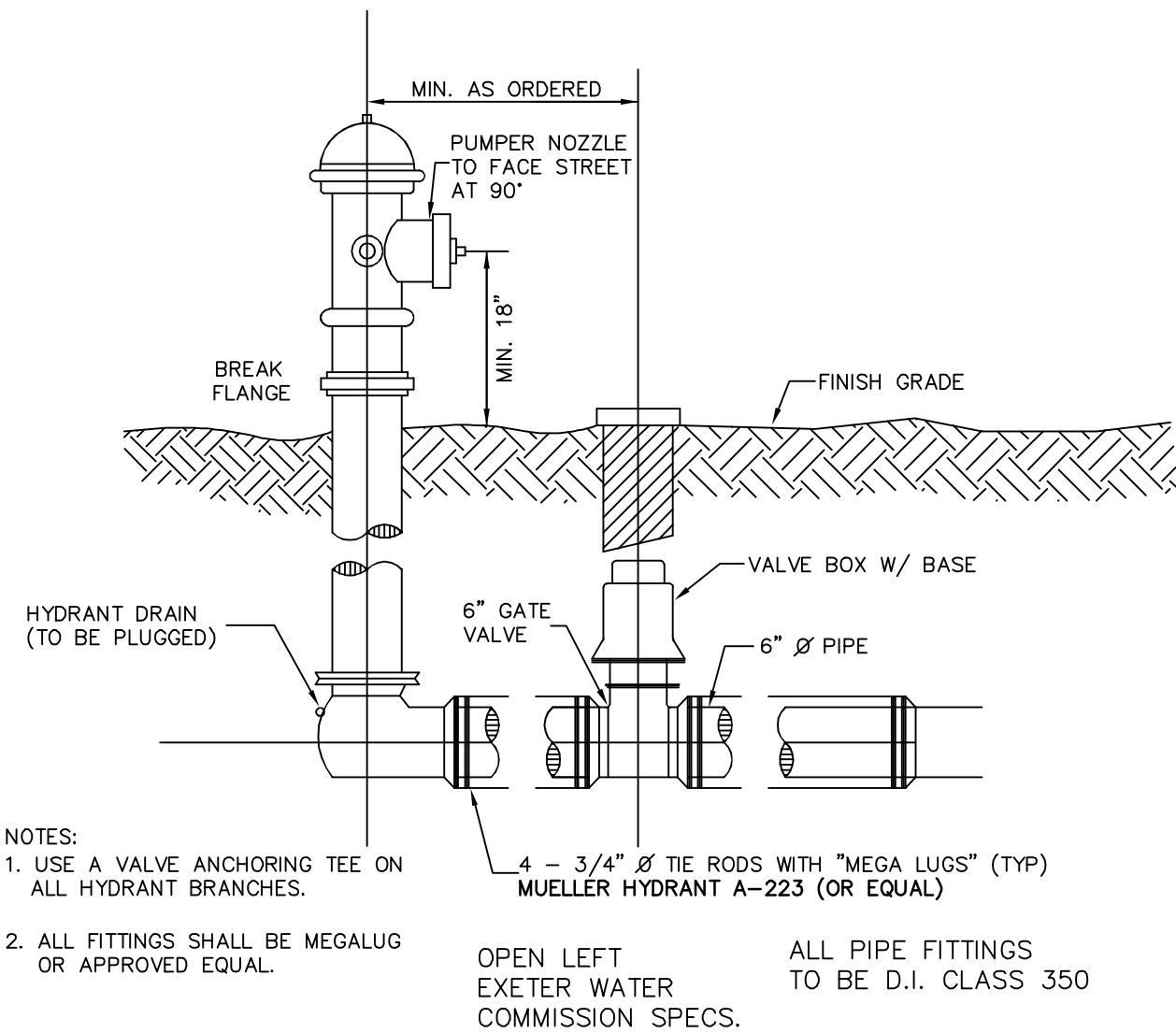
TYPICAL WATER SERVICE CONNECTION



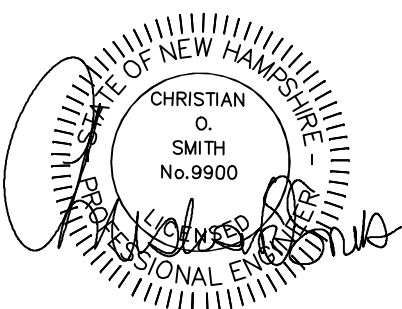
TYPICAL TRENCH DETAIL FOR WATER SYSTEM



GAS TRENCH DETAIL



HYDRANT INSTALLATION DETAIL



NOTES

- ORDERED EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE: REFILL WITH BEDDING MATERIAL. (SEE NOTE 6 ALSO)
- BEDDING: MINIMUM 12" SAND BLANKET AS SPECIFIED AND REMAINING FILL AS SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATERIAL AND MEETING ASTM C-33 STONE SIZE No. 67

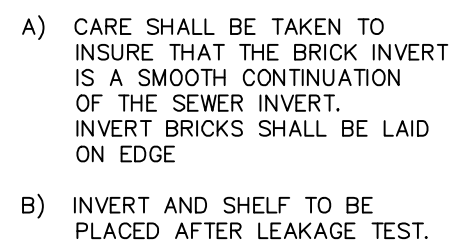
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|---------|---------|-----------------|
| 100% | PASSING | 1 INCH SCREEN |
| 90-100% | PASSING | 3/4 INCH SCREEN |
| 20-50% | PASSING | 3/8 INCH SCREEN |
| 0-10% | PASSING | No. 4 SIEVE |
| 0-5% | PASSING | No. 8 SIEVE |

WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, GRADED SCREENED GRAVEL OR CRUSHED STONE 3/4 INCH TO 1-1/2 INCH SHALL BE USED.
- SUITABLE MATERIAL IN ROADS, ROAD SHOULDERS, WALKWAYS, AND TRAVELED WAYS: SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION.
- FOR CROSS COUNTRY CONSTRUCTION: BACKFILL OR FILL SHALL BE MOUND TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.

SEPERATION NOTES:

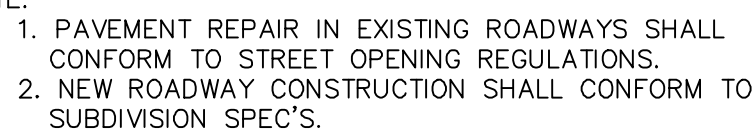
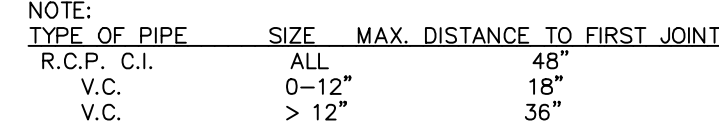
- WATER MAIN RELATIONS TO SHALL BE IN ACCORDANCE WITH THE "RECOMMENDED STANDARDS FOR WATER WORKS" SO-CALLED TEN STATE STANDARDS AND NEW HAMPSHIRE WATER SUPPLY AND POLLUTION CONTROL DESIGN STANDARDS.
- WATER MAINS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED SEWERS. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE. IF THIS DISTANCE CANNOT BE OBTAINED, THEN THE PIPES SHALL BE INSTALLED IN A SEPARATE TRENCH WITH A VERTICAL SEPERATION AT LEAST 18 INCHES APART.

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| REVISIONS: | DATE: |
| WATER DETAILS | |
| PLAN FOR: RESIDENTIAL DEVELOPMENT TOWER PLACE GREENLAND, NH | |
| DATE: | NOV 2021 |
| SCALE: | NOTED |
| PROJ. NO: | NH-1360 |
| SHEET NO. | 22 |

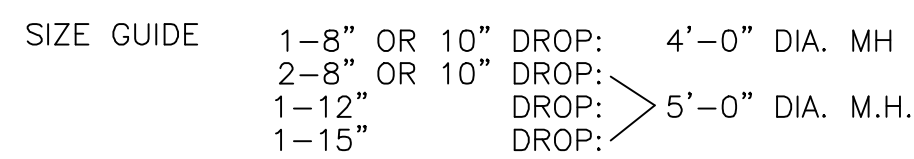


NOTES

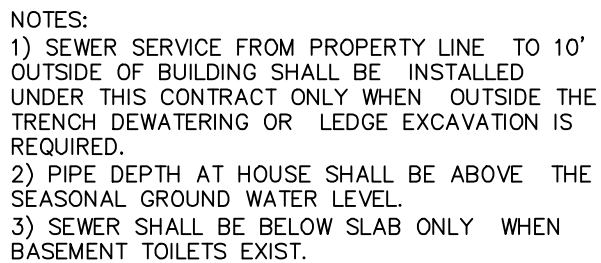
- 1) IT IS THE INTENTION THAT THE MANHOLE, INCLUDING ALL COMPONENT PARTS, HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY BY THE COMMISSION FOR THE INTENDED SERVICE SPACE REQUIREMENTS AND CONFIGURATIONS, SHALL BE AS SHOWN ON THE DRAWING, MANHOLES MAY BE AN ASSEMBLY OF PRECAST SECTIONS, WITH STEEL REINFORCEMENT, WITH ADEQUATE JOINTING, OR CONCRETE CAST MONOLITHICALLY IN PLACE WITH REINFORCEMENT, IN ANY APPROVED MANHOLE. THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (H=20 LOADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE, CONTINUOUSLY FOR THE LIFE OF THE STRUCTURE. A PERIOD GENERALLY IN EXCESS OF 25 YEARS IS TO BE UNDERSTOOD IN BOTH CASES.
- 2) BARRELS AND CONE SECTIONS SHALL BE PRECAST REINFORCED CONCRETE, OR POURED IN PLACE REINFORCED CONCRETE.
- 3) PRECAST CONCRETE BARREL SECTIONS, CONES AND BASES SHALL CONFORM TO ASTM C478
- 4) LEAKAGE TEST SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIFICATIONS.
- 5) INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED SHELF AND INVERT, CONSTRUCTED TO CONFORM TO THE SLOPE OF PIPE AND FLOW AT CHANGES IN DIRECTION. THE INVERTS SHALL BE Laid OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES. SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE THROUGH CHANNEL UNDERLAYMENT OF INVERT AND SHELF SHALL CONSIST OF BRICK MASONRY.
- 6) FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30 INCH DIA. CLEAR OPENING. THE WORD "SEWER" OR "DRAIN" SHALL BE CAST INTO THE CENTER OF THE UPPER FACE OF EACH COVER WITH RAISED, 3" LETTERS.
- 7) BEDDING: MINIMUM 12" SAND BLANKET AS SPECIFIED AND REMAINING FILL AS SCREENED GRAVEL AND/OR CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATERIAL AND MEETING ASTM C-33 STONE SIZE No. 67
 - 100% PASSING 1 INCH SCREEN
 - 90-100% PASSING 3/4 INCH SCREEN
 - 20-50% PASSING 3/8 INCH SCREEN
 - 0-10% PASSING No. 4 SIEVE
 - 0-5% PASSING No. 8 SIEVEWHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, GRADED SCREENED GRAVEL OR CRUSHED STONE 3/4 INCH TO 1-1/2 INCH SHALL BE USED.
- 8) FLEXIBLE JOINT: A FLEXIBLE JOINT SHALL BE PROVIDED WITHIN THE FOLLOWING DISTANCES:
 - R.C.P. & C.I. PIPE - ALL SIZES - 48"
 - P.V.C. PIPE - ALL SIZES - 48"
 - P.F. PIPE - ALL SIZES - 48"
 - D.I. PIPE - NONE REQUIRED
- 9) CONTRACTOR SHALL PLACE 2" WIDE METAL WIRE IMPREGNATED RED PLASTIC WARNING TAPE OVER ENTIRE LENGTH OF ALL SEWERS.
- 10) ALL SEWER LINES SHALL BE AIR TESTED, MANDREL AND LAMP TESTED TO THE APPROVAL OF THE SEWER COMMISSION.



NOT TO SCALE



N.T.S.



DETAIL OF HOUSE SEWER SERVICE

NOTES

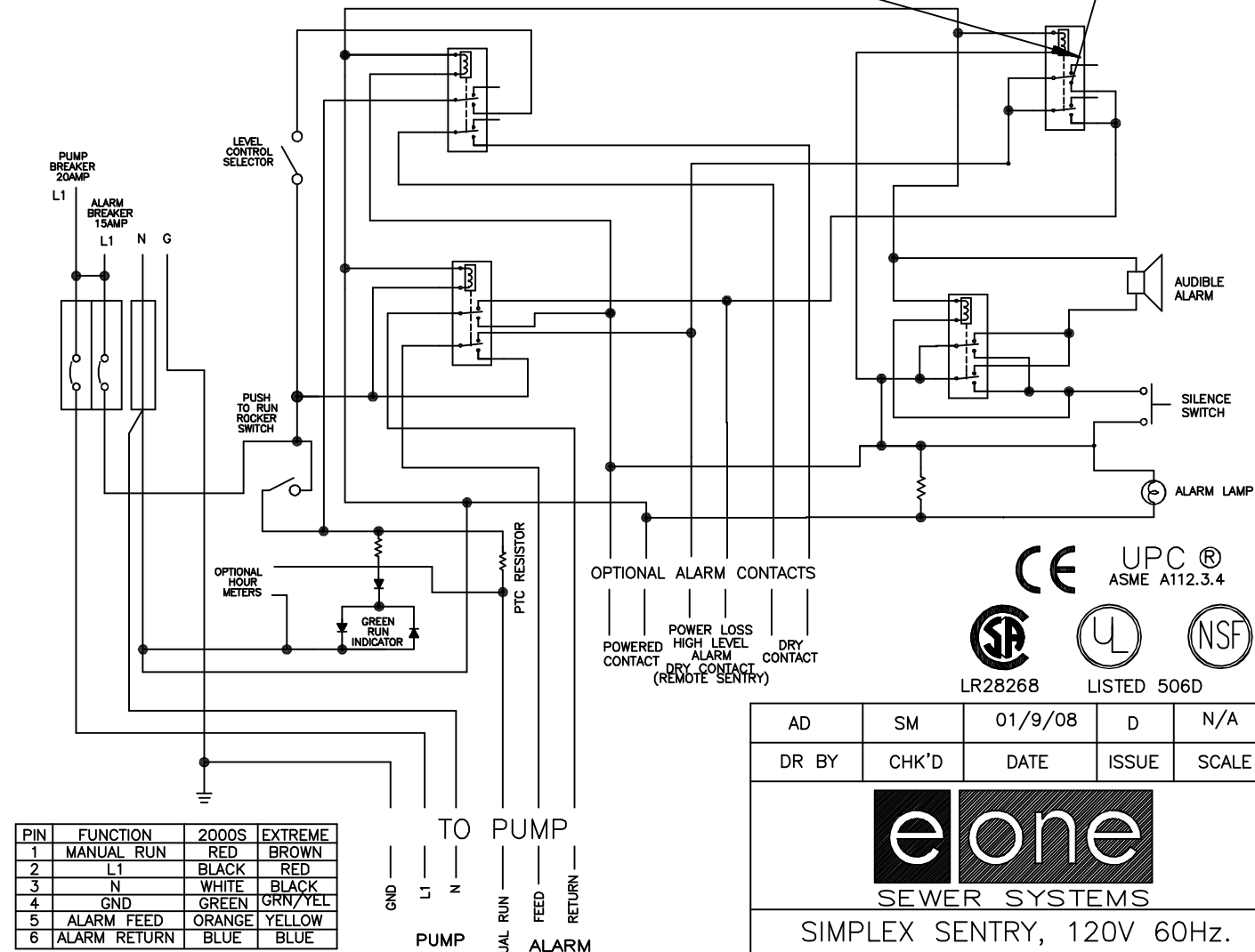
- 1) IT IS THE INTENTION OF THE COMMISSION THAT THE MANHOLE, INCLUDING ALL COMPONENT PARTS, HAVE ADEQUATE SPACE, STRENGTH AND LEAKPROOF QUALITIES CONSIDERED NECESSARY BY THE COMMISSION FOR THE INTENDED SERVICE SPACE REQUIREMENTS AND CONFIGURATIONS, SHALL BE AS SHOWN ON THE DRAWING, MANHOLES MAY BE AN ASSEMBLY OF PRECAST SECTIONS, WITH OR WITHOUT STEEL REINFORCEMENT, WITH ADEQUATE JOINTING, OR CONCRETE CAST MONOLITHICALLY IN PLACE WITH OR WITHOUT REINFORCEMENT, IN ANY APPROVED MANHOLE, THE COMPLETE STRUCTURE SHALL BE OF SUCH MATERIAL AND QUALITY AS TO WITHSTAND LOADS OF 8 TONS (H-20 LOADING) WITHOUT FAILURE AND PREVENT LEAKAGE IN EXCESS OF ONE GALLON PER DAY PER VERTICAL FOOT OF MANHOLE, CONTINUOUSLY, FOR THE LIFE OF THE STRUCTURE, A PERIOD GENERALLY IN EXCESS OF 25 YEARS IS TO BE UNDERSTOOD IN BOTH CASES.
- 2) BARRELS AND CONE SECTIONS SHALL BE PRECAST REINFORCED OR NON- REINFORCED CONCRETE, OR POURED IN PLACE REINFORCED OR NON REINFORCED CONCRETE.
- 3) PRECAST CONCRETE BARREL SECTIONS, CONES AND BASES SHALL CONFORM TO ASTM C478
- 4) LEAKAGE TEST:
 - A) ALL NEW SEWERS, MANHOLES AND FORCE MAINS SHALL BE TESTED FOR WATER TIGHTNESS BY THE USE OF EITHER WATER OR LOW-PRESSURE AIR TESTS.
 - B) LOW PRESSURE AIR TESTING SHALL BE IN ACCORDANCE WITH ASTM C828.
 - C) FORCE MAINS SHALL BE TESTED IN ACCORDANCE WITH SECTION 4 OF AWWA C600, AT A PRESSURE EQUAL TO 150% OF THE DESIGN OPERATING TOTAL DYNAMIC HEAD.
- 5) INVERTS AND SHELVES: MANHOLES SHALL HAVE A BRICK PAVED SHEL AND INVERT, CONSTRUCTED TO CONFORM TO THE SIZE OF PIPE AND FLOW AT CHANGING IN SECTION, THE INVERTS SHALL BE LAID OUT IN CURVES OF THE LONGEST RADIUS POSSIBLE TANGENT TO THE CENTER LINE OF THE SEWER PIPES SHELVES SHALL BE CONSTRUCTED TO THE ELEVATION OF THE THROUGH CHANNEL UNDERLAYMENT OF INVERT AND SHELVE SHALL CONSIST OF BRICK MASONRY.
- 6) FRAMES AND COVERS: MANHOLE FRAMES AND COVERS SHALL BE OF HEAVY DUTY DESIGN AND PROVIDE A 30 INCH DIA, CLEAR OPENING. THE WORD "SEWER" OR "DRAIN" SHALL BE CAST INTO THE CENTER OF THE UPPER FACE OF EACH COVER WITH RAISED, 3" LETTERS.
- 8) CONCRETE FOR DROP SUPPORT SHALL CONFORM TO THE REQUIREMENT FOR CLASS α (3000) CONCRETE OF THE NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAY STANDARD SPECIFICATIONS AS FOLLOWS:
CEMENT: 6.0 BAGS PER CUBIC YARD.
WATER: 5.75 GALLONS PER BAG OF CEMENT.
MAXIMUM SIZE OF AGGREGATE: (1) INCH.
- 9) FLEXIBLE JOINT: A FLEXIBLE JOINT SHALL BE PROVIDED WITHIN THE FOLLOWING DISTANCES:
R.C.P. & C.I. PIPE - ALL SIZES - 48"
P.V.C. PIPE - ALL SIZES - 48"
P.F. PIPE - ALL SIZES - 48"
D.I. PIPE - NONE REQUIRED
- 10) SHALLOW MANHOLE: IN LIEU OF A CONE SECTION, WHEN MANHOLE DEPTH IS LESS THAN 6 FEET, A REINFORCED CONCRETE SLAB COVER MAY BE USED HAVING AN ECCENTRIC ENTRANCE OPENING AND CAPABLE OF SUPPORTING (H-20 LOADS).
- 11) WATER TIGHT MANHOLE COVERS WILL BE REQUIRED FOR ALL MANHOLES WITH RIMS SET AT OR BELOW ELEV. 11.00" (M.S.L.).
- 12) CONTRACTOR SHALL PLACE 2" WIDE METAL WIRE IMPREGNATED RED PLASTIC WARNING TAPE OVER ENTIRE LENGTH OF ALL GRAVITY SEWERS, HOUSE SERVICES, AND FORCE MAINS.




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| REVISIONS: | | DATE: | |
| SEWER DETAILS | | | |
| PLAN FOR: RESIDENTIAL DEVELOPMENT TOWER PLACE GREENLAND, NH | | | |
| DATE: | NOV 2021 | SCALE: | NONE |
| PROJ. NO: | NH-1360 | SHEET NO. | 23 |

SIMPLEX
SENTRY
REDUNDANT RUN (HIGH LEVEL)
EXTERNAL VISUAL & AUDIBLE ALARM
EXTERNAL LATCHING MANUAL SILENCE
MANUAL RUN
PUMP RUN INDICATOR
CONFORMAL COATED CIRCUIT BOARD
PADLOCK
NEMA 4X ENCLOSURE ASSEMBLY
CORROSION PROOF THERMOPLASTIC
POLYESTER APPROVED BY UL FOR
ELECTRICAL CONTROL ENCLOSURE

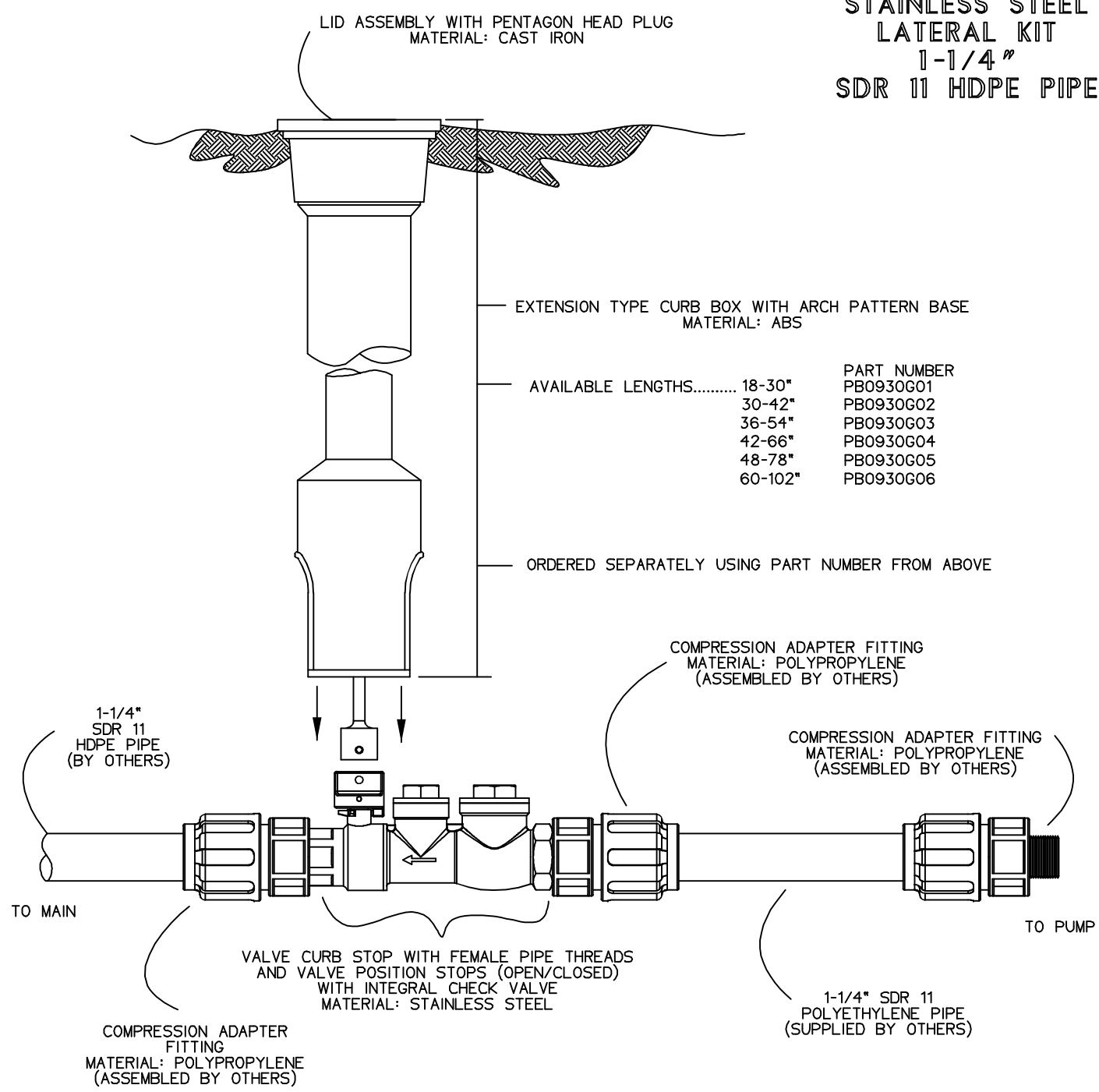
OPTIONS:

- ☐ ALARM CONTACTS
☐ HOUR METER



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|---|-------|---|-------|---|-----|
| CONTACTS | | CE | | UPC® ASME A112.3.4 | |
| S D KEY CONTACT (17) | |  | |  | |
| LR28268 | | LISTED | | 506D | |
| AD | SM | 01/9/08 | | D | N/A |
| DR BY | CHK'D | DATE | ISSUE | SCALE | |
|  | | | | | |
| SEWER SYSTEMS | | | | | |
| SIMPLEX SENTRY, 120V 60Hz. | | | | | |
| SINGLE POLE POWER | | | | | |
| LM000327 | | | | | |

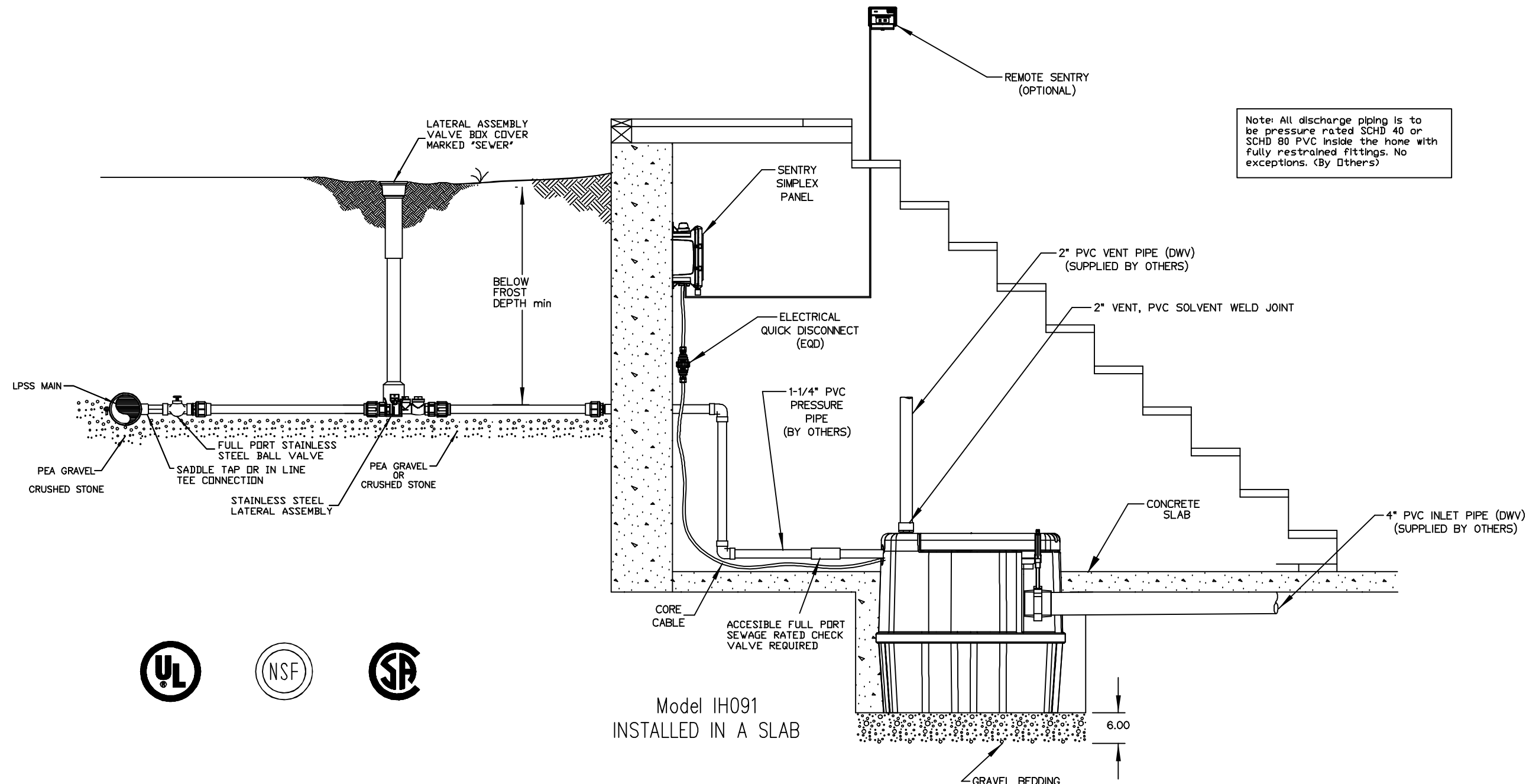
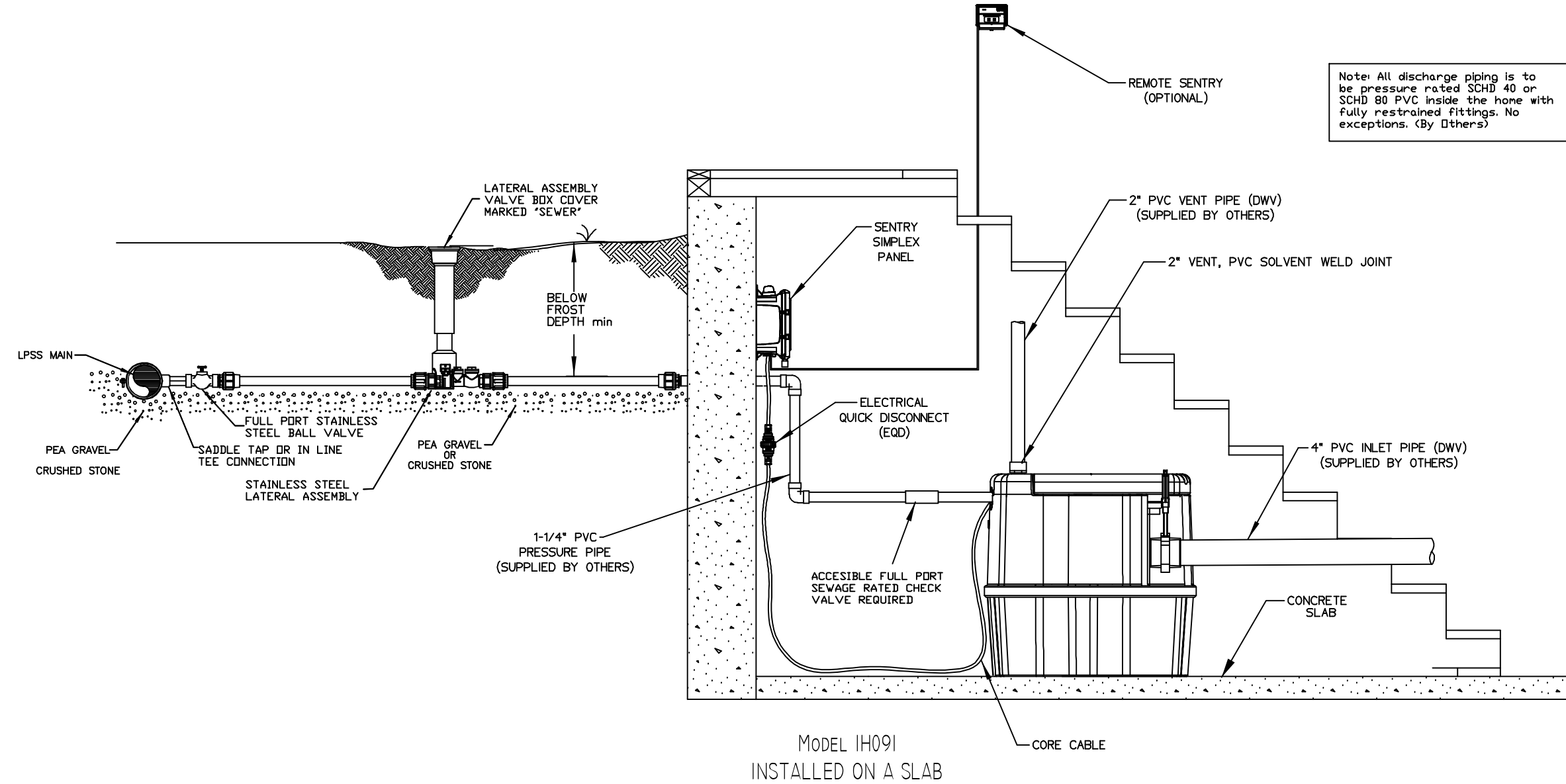
STAINLESS STEEL
LATERAL KIT
1-1/4"
SDR 11 HDPE PIPE



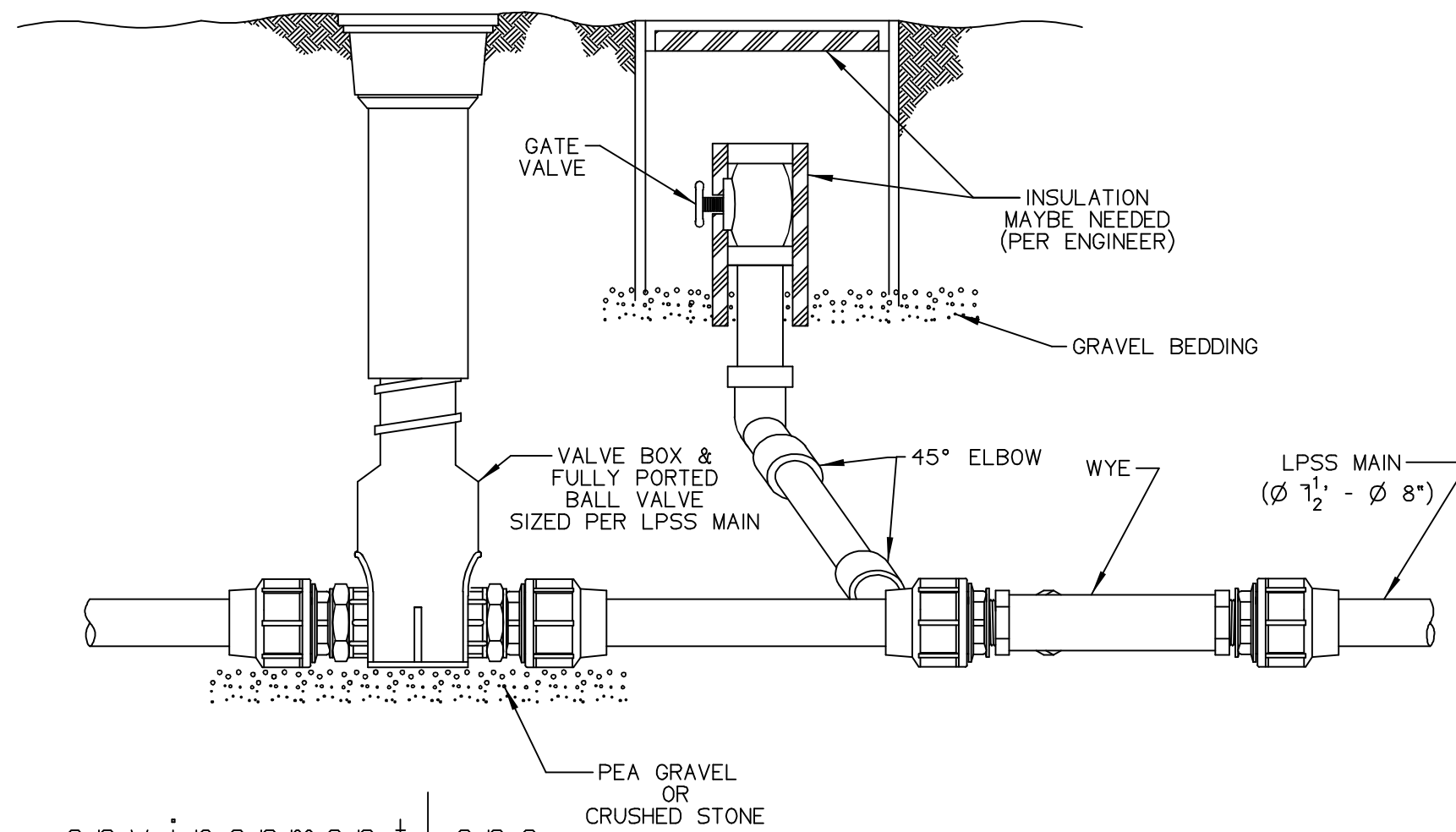
NOTES:

- SS CURB STOP/CHECK VALVE AND FITTINGS ARE PROVIDED SEPARATELY, TO BE ASSEMBLED BY OTHERS
- TO ASSEMBLE, APPLY A DOUBLE LAYER OF TEFLON TAPE, AND A LAYER OF PIPE DOPE (SUPPLIED BY OTHERS) TO THE THREADS ON THE PLASTIC FITTINGS AND INSTALL PER THE MANUFACTURER'S INSTRUCTIONS
*FOR SS FITTING INTO SS THREAD, USE PIPE DOPE OR TEFLON TAPE, NOT BOTH
- ASSEMBLY IS TO BE PRESSURE TESTED (BY OTHERS)
- ASSEMBLY IS TO BE USED WITH SDR11 HDPE PIPE
- TO ORDER SS LATERAL KIT, USE PART NUMBER NC0193001
- CURB BOX IS TO BE ORDERED SEPARATELY, SEE ABOVE

| | | | | |
|-----------------------------|-------|----------|-------|-------|
| KIT PARTS ARE NOT ASSEMBLED | | | | |
| SGS | DN | 11/02/11 | B | 3/16 |
| DR BY | CHK'D | DATE | ISSUE | SCALE |
| eone | | | | |
| SEWER SYSTEMS | | | | |
| STAINLESS STEEL LATERAL KIT | | | | |
| 1-1/4" SDR 11 HDPE PIPE | | | | |
| NA0330P02 | | | | |

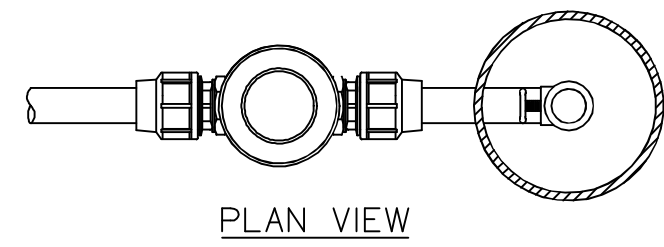


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SEWER SYSTEMS



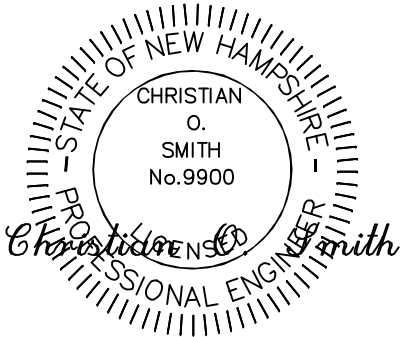
environment|one
CORPORATION

TYPICAL FLUSHING CONNECTION ON LPSS MAIN



TYPICAL TERMINAL FLUSHING CONNECTION

| | | | | |
|---|-------|----------|-------|------|
| SGS | CHK'D | 05-13-10 | 1 | 1/32 |
| DR BY | DATE | ISSUE | SCALE | |
| eone | | | | |
| SEWER SYSTEMS | | | | |
| TYPICAL TERMINAL FLUSHING CONNECTION | | | | |
| ESD 10-0094 | | | | |



DESIGNER STAMP

NEW HAMPSHIRE
Designer
of
Subsurface Disposal
Systems

Joseph P. Nichols
No. 1451
Department of Environmental Services

Prepared by: JOSEPH NICHOLS

BEALS ASSOCIATES PLLC

70 PORTSMOUTH AVE,
STRATHAM, NEW HAMPSHIRE
PHN. 603-583-4860, FAX. 603-583-4863

REVISIONS:

DATE:

SEWER FM DETAILS

PLAN FOR:
RESIDENTIAL DEVELOPMENT
TOWER PLACE
GREENLAND, NH

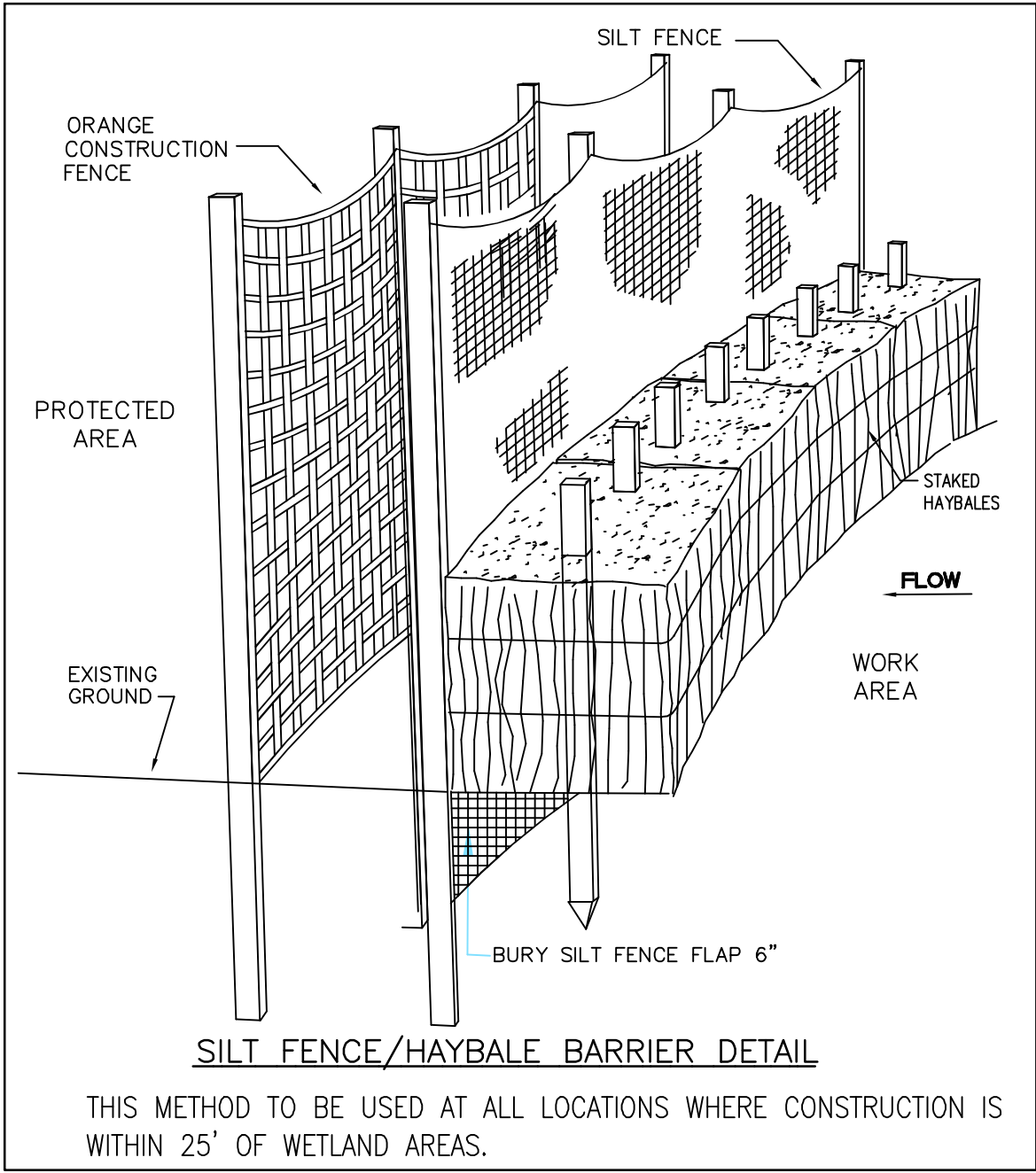
DATE: NOV 2021

SCALE: NTS

PROJ. NO: NH-1360

SHEET NO. 24

LM000113 REV. A



TEMPORARY EROSION CONTROL MEASURES

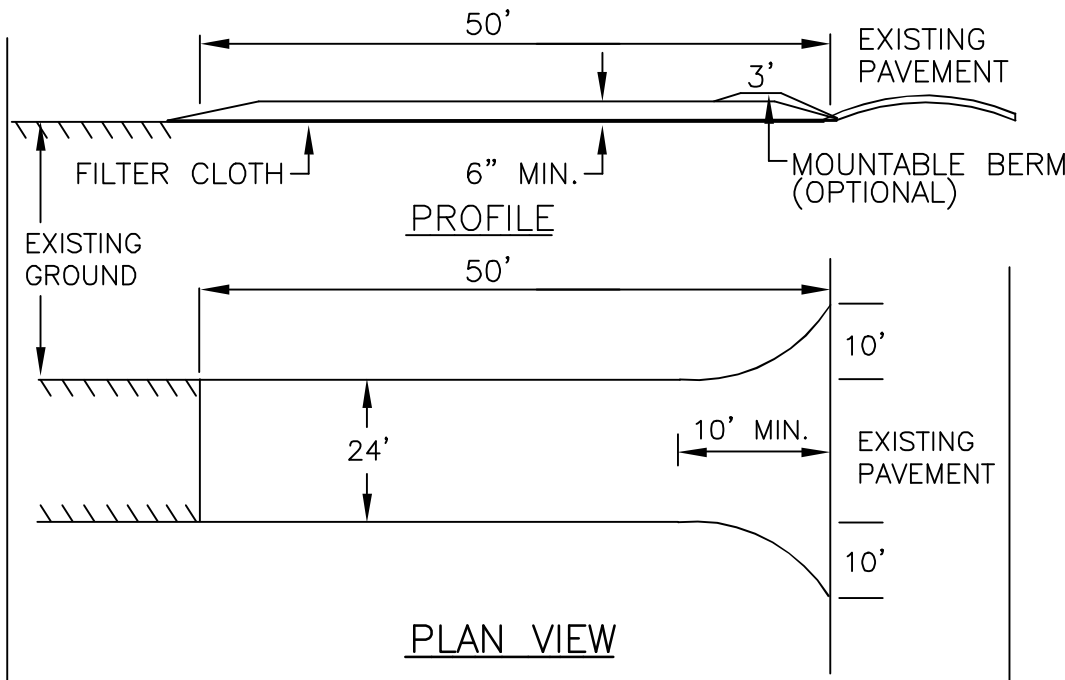
1. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION, BUT NO MORE THAN 5 ACRES OF LAND SHALL BE EXPOSED BEFORE DISTURBED AREAS ARE STABILIZED*.
2. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED OR DIRECTED BY THE ENGINEER. ALL DISTURBED AREAS SHALL BE RETURNED TO ORIGINAL GRADES AND ELEVATIONS.
3. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 4" OF LOAM AND SEEDED WITH NOT LESS THAN 1.10 POUNDS OF SEED PER 1000 SQUARE FEET OF AREA. (48 POUNDS PER ACRE) SEE SEED SPECIFICATIONS THIS SHEET.
4. SILT FENCES AND OTHER EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY RAIN EVENT GREATER THAN 0.5" DURING THE LIFE OF THE PROJECT. ALL DAMAGED AREAS SHALL BE REPAIRED, SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
5. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES ARE TO BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
6. AREAS MUST BE SEEDED AND MULCHED WITHIN 3 DAYS OF FINAL GRADING, PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING, OR TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF SOIL.
- * AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
 - A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS RIPRAP HAS BEEN INSTALLED.
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

CONSTRUCTION SPECIFICATIONS

1. STRUCTURES SHALL BE INSTALLED ACCORDING TO THE DIMENSIONS SHOWN ON THE PLANS AT THE APPROPRIATE SPACING.
2. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER SO THAT EROSION AND AIR AND WATER POLLUTION WILL BE MINIMIZED.
3. WHEN TIMBER STRUCTURES ARE USED, THE TIMBER SHALL EXTEND AT LEAST 18" INTO THE SOIL.
4. STRAW BALES SHALL BE ANCHORED INTO THE SOIL USING 2" X 2" STAKES DRIVEN THROUGH THE BALES AND AT LEAST 18 INCHES IN TO THE SOIL.
5. SEEDING, FERTILIZING, AND MULCHING SHALL CONFORM TO THE RECOMMENDATIONS IN THE APPROPRIATED VEGETATIVE BMP.
6. STRUCTURES SHALL BE REMOVED FROM THE CHANNEL WHEN THEIR USEFUL LIFE HAS BEEN COMPLETED.
7. THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES THE CONTRACTOR SHALL TAKE PRECAUTIONS AND INSTRUCTIONS FROM THE PLANNING DEPARTMENT IN ORDER TO PREVENT, ABATE AND CONTROL THE EMISSION OF FUGITIVE DUST INCLUDING BUT NOT LIMITED TO WETTING, COVERING, SHIELDING, OR VACUUMING.
8. THE NH COMMISSIONER OF AGRICULTURE PROHIBITS THE COLLECTION, POSSESSION, IMPORTATION, TRANSPORTATION, SALE, PROPAGATION, TRANSPLANTATION, OR CULTIVATION OF PLANTS BANNED BY NH LAW RSA 430:53 AND NH CODE ADMINISTRATIVE RULES AGR 3800. THE PROJECT SHALL MEET ALL REQUIREMENTS AND THE INTENT OF . RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES
9. THE CONSTRUCTION SITE OPERATOR AND OWNER SHALL SUBMIT A NOTICE OF INTENT (NOI) TO USEPA, WASHINGTON, DC, STORMWATER NOTICE PROCESSING CENTER AT LEAST FOURTEEN DAYS PRIOR TO COMMENCEMENT OF WORK ON SITE. EPA WILL POST THE NOI AT <http://cfpub.epa.gov/npdes/stormwater/noi/noisearch.cfm>. AUTHORIZATION IS GRANTED UNDER THE PERMIT ONCE THE NOI IS SHOWN IN "ACTIVE STATUS".

CONSTRUCTION SEQUENCE

1. CUT AND REMOVE TREES IN CONSTRUCTION AREAS AS REQUIRED OR DIRECTED.
2. CONSTRUCT AND/OR INSTALL TEMPORARY AND PERMANENT SEDIMENT EROSION AND DETENTION CONTROL FACILITIES AS REQUIRED. EROSION, SEDIMENT AND DETENTION CONTROL FACILITIES SHALL BE INSTALLED AND STABILIZED PRIOR TO ANY EARTH MOVING OPERATION AND PRIOR TO DIRECTING RUNOFF TO THEM.
3. CLEAR, CUT, GRUB AND DISPOSE OF DEBRIS IN APPROVED FACILITIES. STUMPS AND DEBRIS ARE TO BE REMOVED FROM SITE AND DISPOSED OF PER STATE AND LOCAL REGULATIONS.
4. EXCAVATE AND STOCKPILE TOPSOIL /LOAM. ALL AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
5. CONSTRUCT TEMPORARY CULVERTS AS REQUIRED OR DIRECTED.
6. CONSTRUCT THE ROADWAY/DRIVEWAYS AND ITS ASSOCIATED DRAINAGE STRUCTURES. ALL ROADWAYS, PARKING AREAS, AND CUT/FILL SLOPES SHALL BE STABILIZED AND/OR LOAMED AND SEEDED WITHIN 72-HOURS OF ACHIEVING FINISH GRADE AS APPLICABLE.
7. INSTALL PIPE AND CONSTRUCTION ASSOCIATED APPURTENANCES AS REQUIRED OR DIRECTED. ALL DISTURBED AREAS SHALL STABILIZED IMMEDIATELY AFTER GRADING.
8. BEGIN PERMANENT AND TEMPORARY SEEDING AND MULCHING. ALL CUT AND FILL SLOPES AND DISTURBED AREAS SHALL BE SEEDED OR MULCHED AS REQUIRED, OR DIRECTED.
9. DAILY OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINAGE CHECK DAMS, DITCHES, SEDIMENT TRAPS, ETC. TO PREVENT EROSION ON THE SITE AND PREVENT ANY SILTATION OF ABUTTING WATERS OR PROPERTY.
10. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION
11. COMPLETE PERMANENT SEEDING AND LANDSCAPING
12. REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE ESTABLISHED THEMSELVES AND SITE IMPROVEMENTS ARE COMPLETE. SMOOTH AND REVEGETATE ALL DISTURBED AREAS.
13. ALL SWALES AND DRAINAGE STRUCTURES WILL BE CONSTRUCTED AND STABILIZED PRIOR TO HAVING RUNOFF DIRECTED TO THEM.
14. FINISH PAVING ALL ROADWAYS/DRIVEWAYS.
15. LOT DISTURBANCE OTHER THAN THAT SHOWN ON THE APPROVED PLANS SHALL NOT COMMENCE UNTIL THE ROADWAY HAS THE BASE COURSE TO DESIGN ELEVATION AND THE ASSOCIATED DRAINAGE IS COMPLETE AND STABLE.



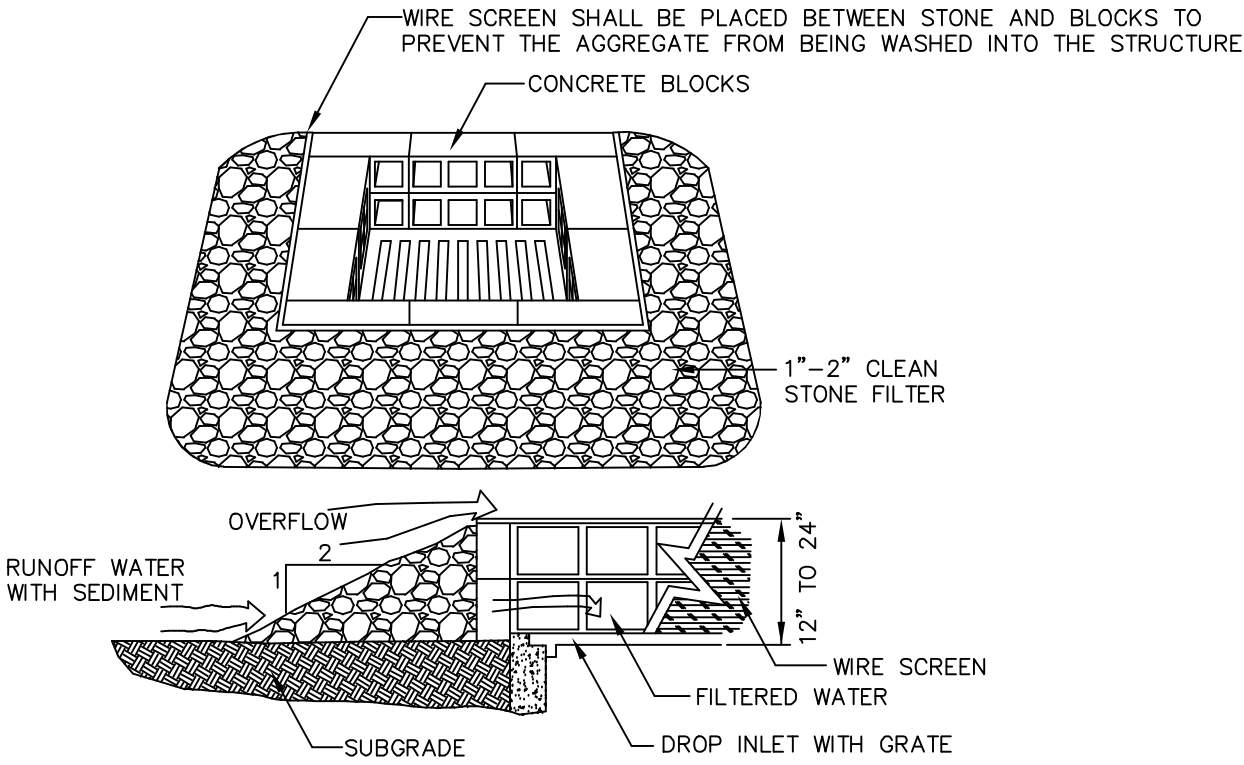
STABILIZED CONSTRUCTION ENTRANCE

WINTER MAINTENANCE

1. ALL DISTURBED AREAS THAT DO NOT HAVE AT LEAST 85% VEGETATIVE COVERAGE PRIOR TO OCTOBER 15TH, SHALL BE STABILIZED BY APPLYING MULCH AT A RATE OF 3-4 TONS PER ACRE. ALL SIDE SLOPES, STEEPER THAN 4:1, THAT ARE NOT DIRECTED TO SWALES OR DETENTION BASINS, SHALL BE LINED WITH BIODEGRADABLE/PHOTODEGRADABLE "JUTE MATTING" (EXCELSIOR'S CURLEX II OR EQUAL). ALL OTHER SLOPES SHALL BE MULCHED AND TACKED AT A RATE OF 3-4 TONS PER ACRE. THE APPLICATION OF MULCH AND/OR JUTE MATTING SHALL NOT OCCUR OVER EXISTING SNOW COVER. IF THE SITE IS ACTIVE AFTER OCTOBER 15TH, ANY SNOW THAT ACCUMULATES ON DISTURBED AREAS SHALL BE REMOVED. PRIOR TO SPRING THAW ALL AREAS WILL BE STABILIZED, AS DIRECTED ABOVE.
2. ALL SWALES THAT DO NOT HAVE FULLY ESTABLISHED VEGETATION SHALL BE EITHER LINED WITH TEMPORARY JUTE MATTING OR TEMPORARY STONE CHECK DAMS (APPROPRIATELY SPACED). STONE CHECK DAMS WILL BE MAINTAINED THROUGHOUT THE WINTER MONTHS. IF THE SWALES ARE TO BE MATTED WITH PERMANENT LINERS OR RIPRAP WITH ENGINEERING FABRIC, THIS SHALL BE COMPLETED PRIOR TO WINTER SHUTDOWN OR AS SOON AS THEY ARE PROPERLY GRADED AND SHAPED.
3. PRIOR TO OCT. 15TH ALL ROADWAY AND PARKING AREAS SHALL BE BROUGHT UP TO AND THROUGH THE BANK RUN GRAVEL APPLICATION. IF THESE AREAS' ELEVATIONS ARE PROPOSED TO REMAIN BELOW THE PROPOSED SUBGRADE ELEVATION, THE SUBGRADE MATERIAL SHALL BE ROUGHLY CROWNED AND A 3" LAYER OF CRUSHED GRAVEL SHALL BE PLACED AND COMPACTED. THIS WILL ALLOW THE SUBGRADE TO SHED RUNOFF AND WILL REDUCE ROADWAY EROSION. THIS CRUSHED GRAVEL DOES NOT HAVE TO CONFORM TO NH DOT 304.3, BUT SHALL HAVE BETWEEN 15-25% PASSING THE #200 SIEVE AND THE LARGEST STONE SIZE SHALL BE 2". IF THE SITE IS ACTIVE AFTER NOVEMBER 15TH, ANY ACCUMULATED SNOW SHALL BE REMOVED FROM ALL ROADWAY AND PARKING AREAS.
4. AFTER OCTOBER 15TH, THE END OF NEW HAMPSHIRE'S AVERAGE GROWING SEASON, NO ADDITIONAL LOAM SHALL BE SPREAD ON SIDE SLOPES AND SWALES. THE STOCKPILES THAT WILL BE LEFT UNDISTURBED UNTIL SPRING SHALL BE SEEDED BY THIS DATE. AFTER OCTOBER 15TH, ANY NEW OR DISTURBED PILES SHALL BE MULCHED AT A RATE OF 3-4 TONS PER ACRE. ALL STOCKPILES THAT WILL REMAIN THROUGHOUT THE WINTER SHALL BE SURROUNDED WITH SILT FENCING.

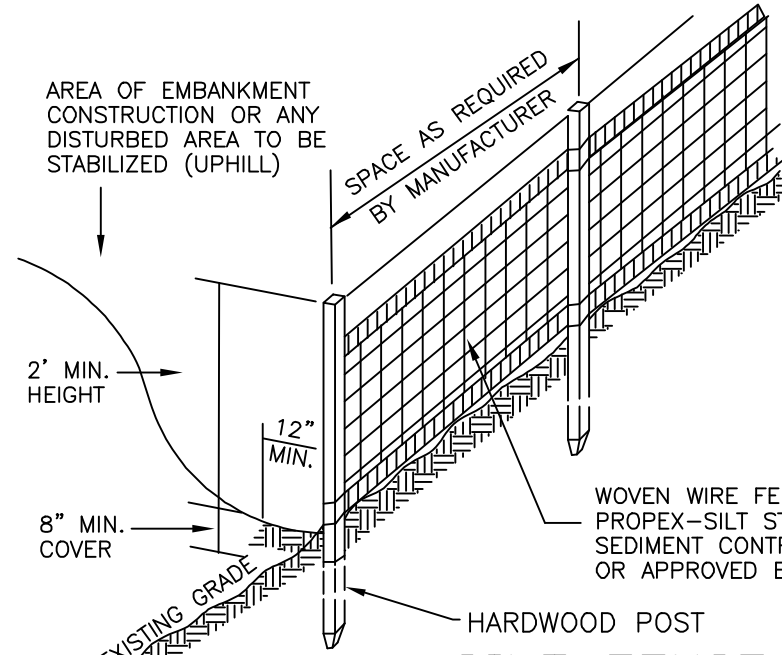
SEEDING SPECIFICATIONS

1. GRADING AND SHAPING
 - A. SLOPES SHALL NOT BE STEEPER THAN 2:1;3:1 SLOPES OR FLATTER ARE PREFERRED. WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
2. SEEDED PREPARATION
 - A. SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
 - B. STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDED AND MIX FERTILIZER AND LIME INTO THE SOIL. THE SEEDED SHOULD BE LEFT IN REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
3. ESTABLISHING A STAND
 - A. LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. KINDS AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
 - AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS PER 1,000 SQ. FT..
 - NITROGEN(N), 50 LBS PER ACRE OR 1. 1 LBS PER 1,000 SQ.FT.
 - PHOSPHATE(P2O5), 100 LBS PER ACRE OR 2. 2 LBS PER 1,000 SQ.FT.
 - POTASH(K2O), 100 LBS PER ACRE OR 2. 2 LBS PER 1,000 SQ.FT.(NOTE: THIS IS THE EQUIVALENT OF 500 LBS PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS PER ACRE OF 5-10-10.)
 - B. SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL TO LESS BY CULTIPACKING OR RAKING.
 - C. REFER TO TABLE(G-E1 THIS SHEET) FOR APPROPRIATE SEED MIXTURES AND TABLE(H-E1 THIS SHEET) FOR RATES OF SEEDING. ALL LEGUMES (CROWN VETCH, BIRDS FOOT TREFOIL, AND FLAT PEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT.
 - D. WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 1.
4. MULCH
 - A. HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
 - B. MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 SQ. FT.
5. MAINTENANCE TO ESTABLISH A STAND
 - A. PLANTED AREA SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
 - B. FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIAL STAKE 2 TO 3 YEARS TO BECOME ESTABLISHED.
 - C. IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, OCCASIONAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.



TEMPORARY CATCH BASIN INLET PROTECTION (Block and Gravel Drop Inlet Sediment Filter)

NOT TO SCALE



SILT FENCE

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES AND FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP MID AND BOTTOM SECTIONS AND BE EMBEDDED INTO GROUND A MINIMUM OF 8".
2. THE FENCE POSTS SHALL BE A MINIMUM 48" LONG, SPACED A MAXIMUM 10' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE AND PROPERLY DISPOSED OF.
5. PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE FOR SEDIMENT STORAGE.
6. SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND RE-VEGETATED

MAINTENANCE

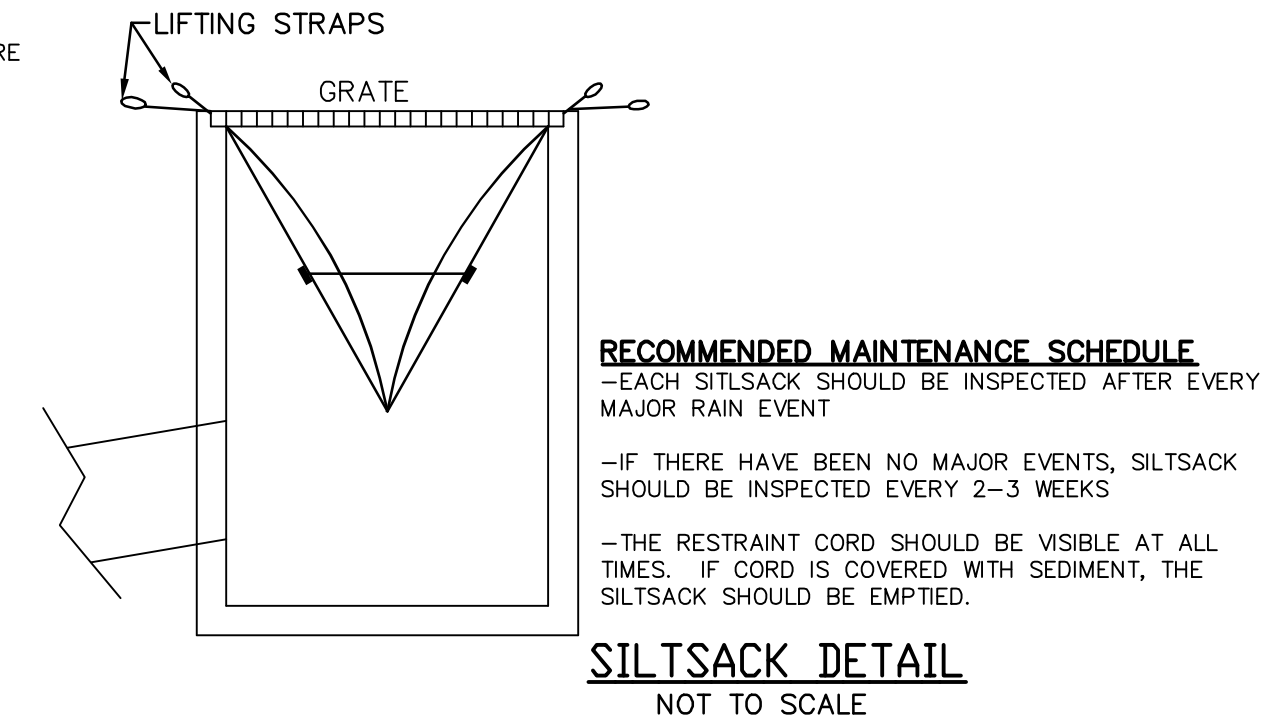
1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
2. IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
4. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SEEDING GUIDE TABLE G-E1

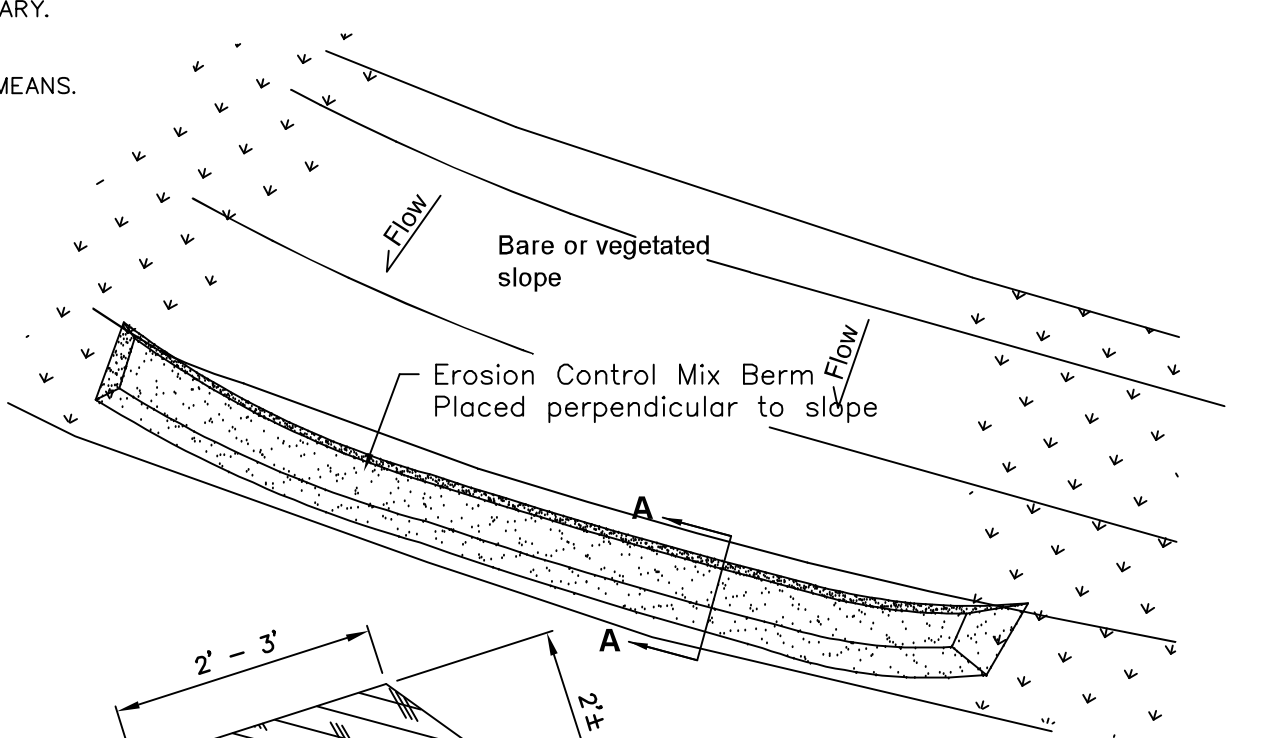
| USE | SEEDING MIXTURE 1/ | DROUGHTY | WELL DRAINED | MODERATELY WELL DRAINED | POORLY DRAINED |
|---|--------------------|----------|--------------|-------------------------|----------------|
| STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS | A | FAIR | GOOD | GOOD | FAIR |
| | B | POOR | GOOD | FAIR | FAIR |
| | C | POOR | FAIR | GOOD | EXCELLENT |
| | D | FAIR | FAIR | GOOD | EXCELLENT |
| WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER. | A | GOOD | GOOD | GOOD | FAIR |
| | B | GOOD | EXCELLENT | EXCELLENT | FAIR |
| | C | GOOD | EXCELLENT | EXCELLENT | FAIR |
| | D | GOOD | EXCELLENT | EXCELLENT | FAIR |
| LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES. | A | GOOD | GOOD | GOOD | FAIR |
| | B | GOOD | GOOD | FAIR | POOR |
| | C | GOOD | EXCELLENT | EXCELLENT | FAIR |
| | D | FAIR | GOOD | GOOD | EXCELLENT |
| PLAY AREAS AND ATHLETIC FIELDS. (TOPSOIL IS ESSENTIAL FOR GOOD TURF.) | F | FAIR | EXCELLENT | EXCELLENT | 2/ |
| | G | FAIR | EXCELLENT | EXCELLENT | 2/ |

GRAVEL PIT, SEE NH-PM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.
1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE 7-36.
2/ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.

NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WATER RYE OR DATE AT A RATE OF 2.5 LBS. PER 1000 SQ. FT. AND SHALL BE PLACED PRIOR TO OCT. 15, IF PERMANENT SEEDING NOT YET COMPLETE.



EROSION PROTECTION TYPE E



Erosion Control Mix Berm

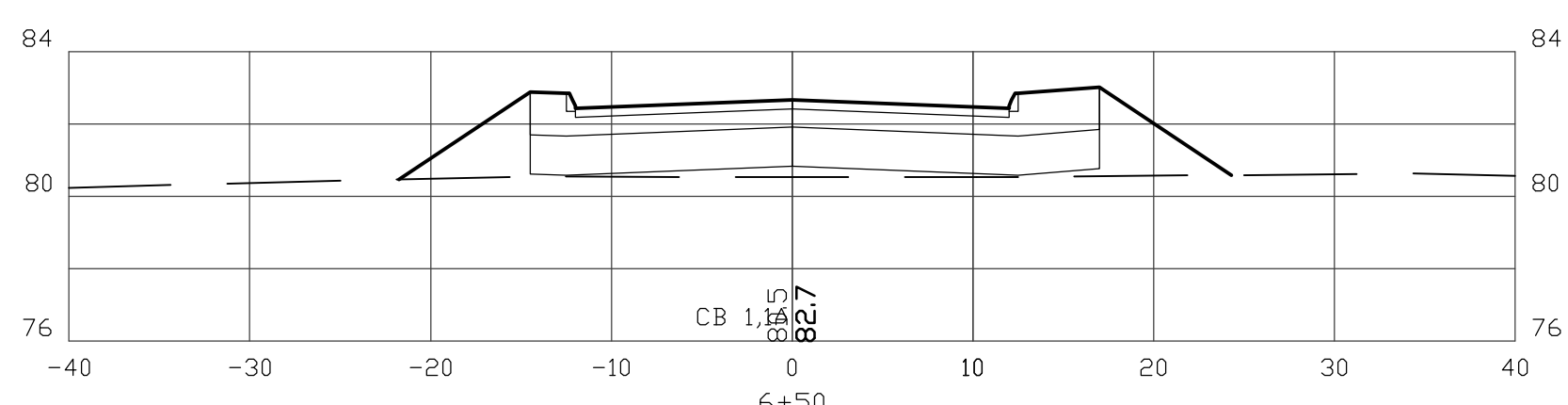
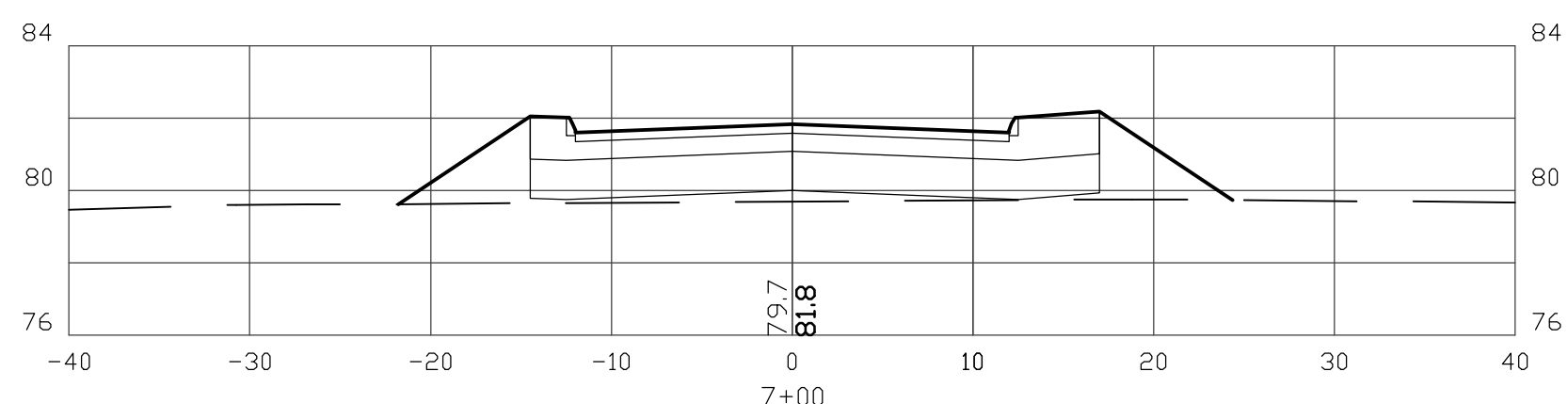
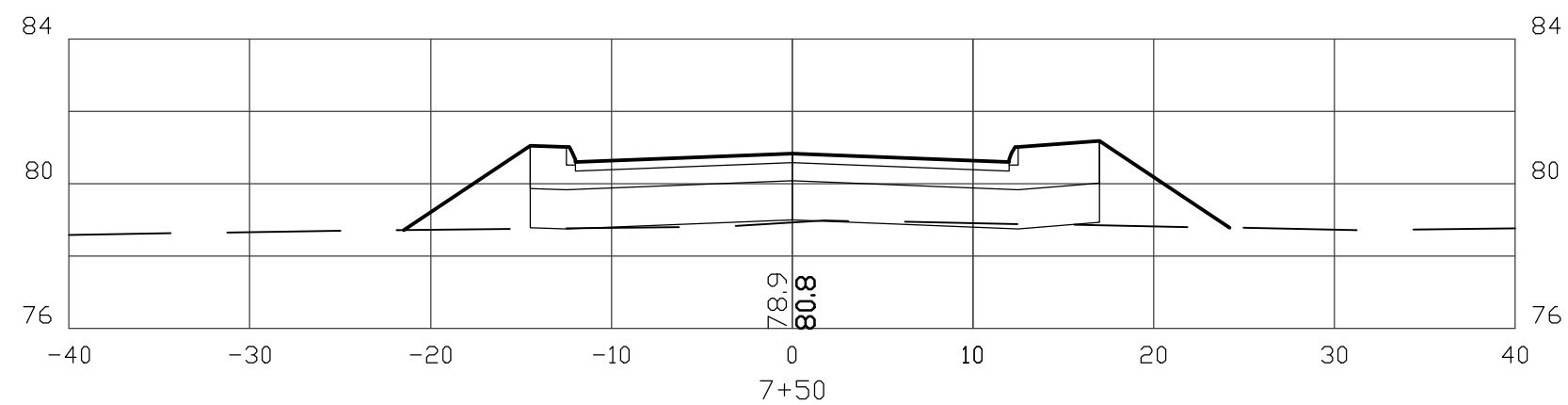
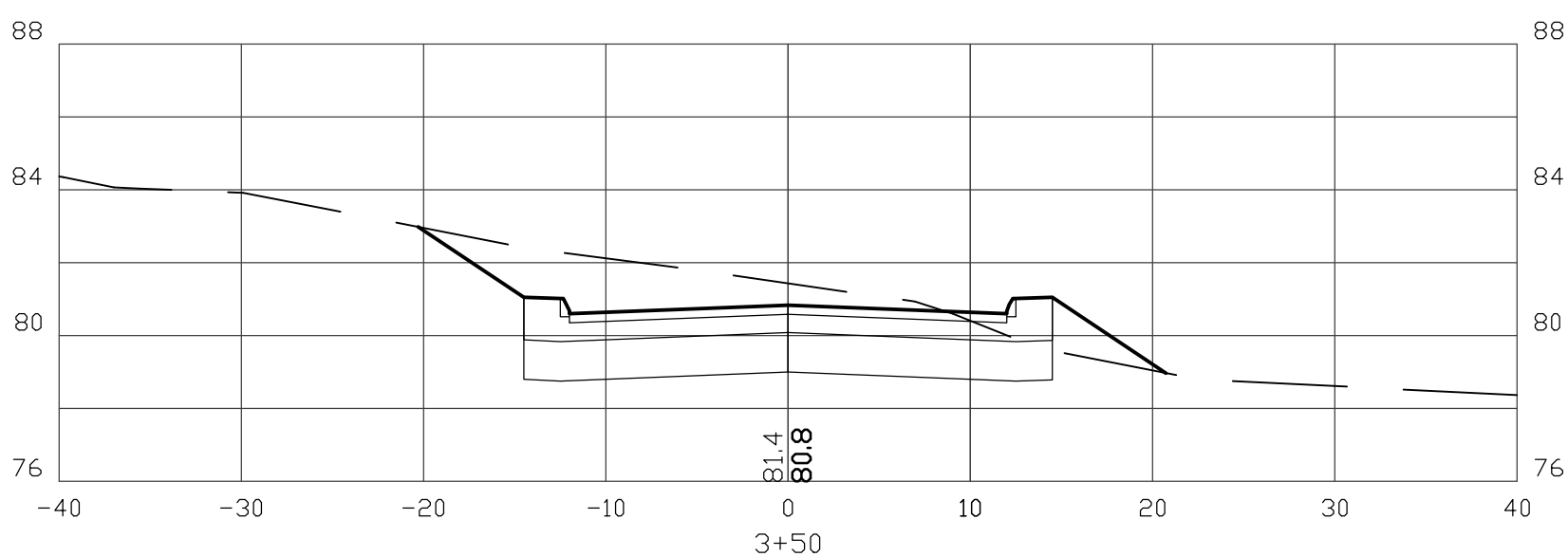
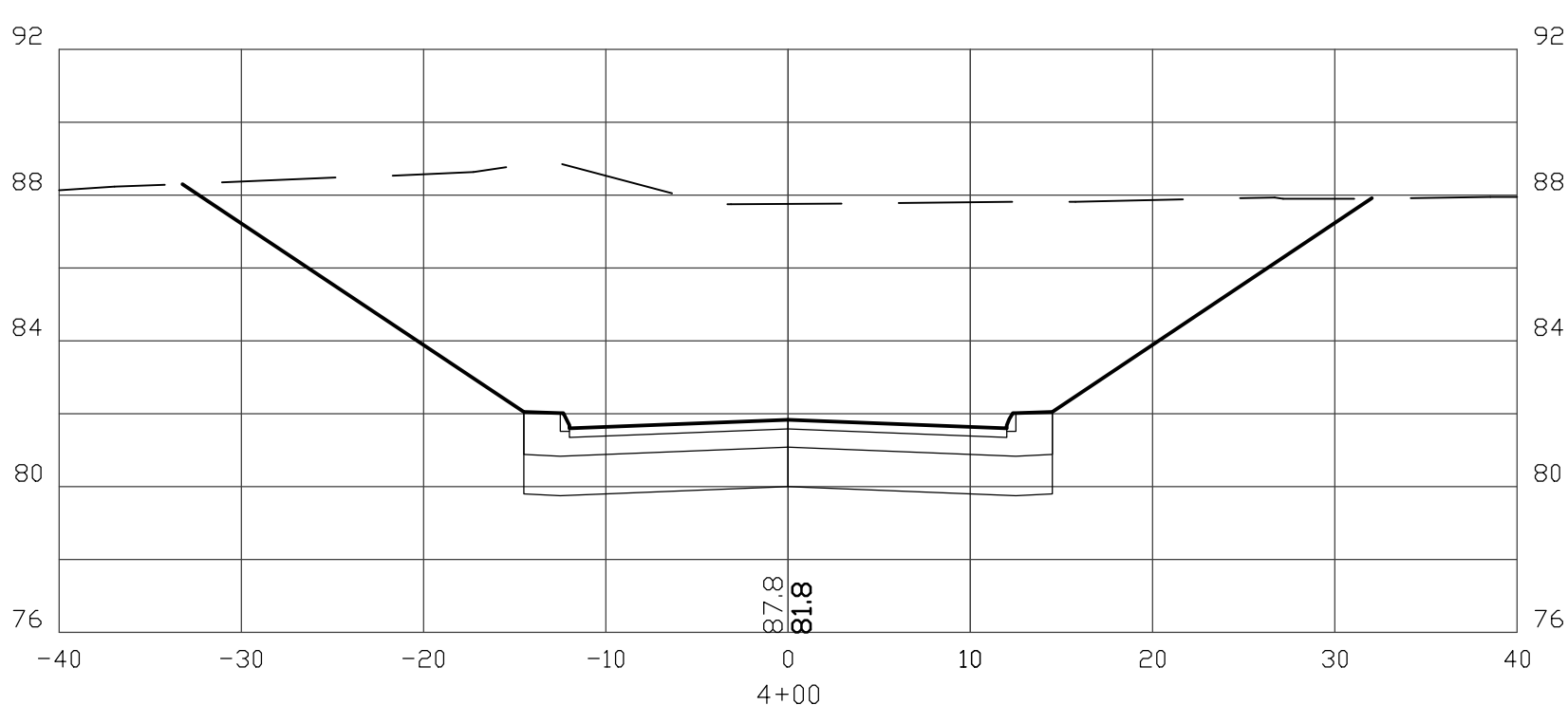
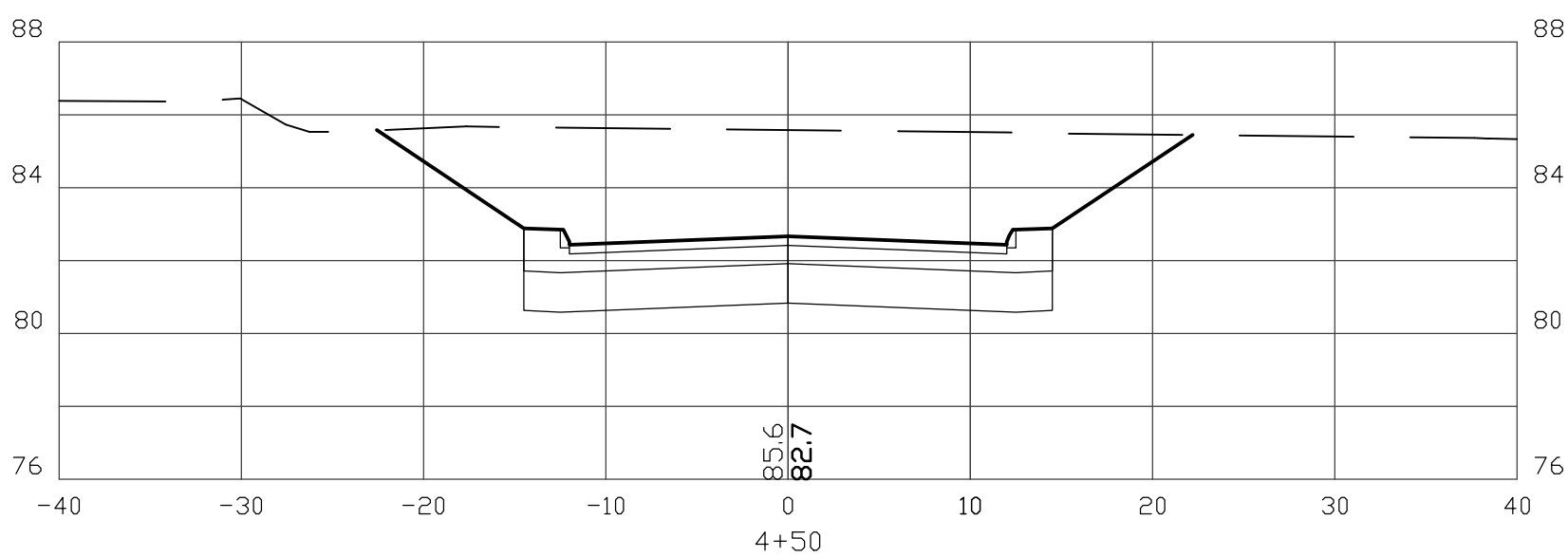
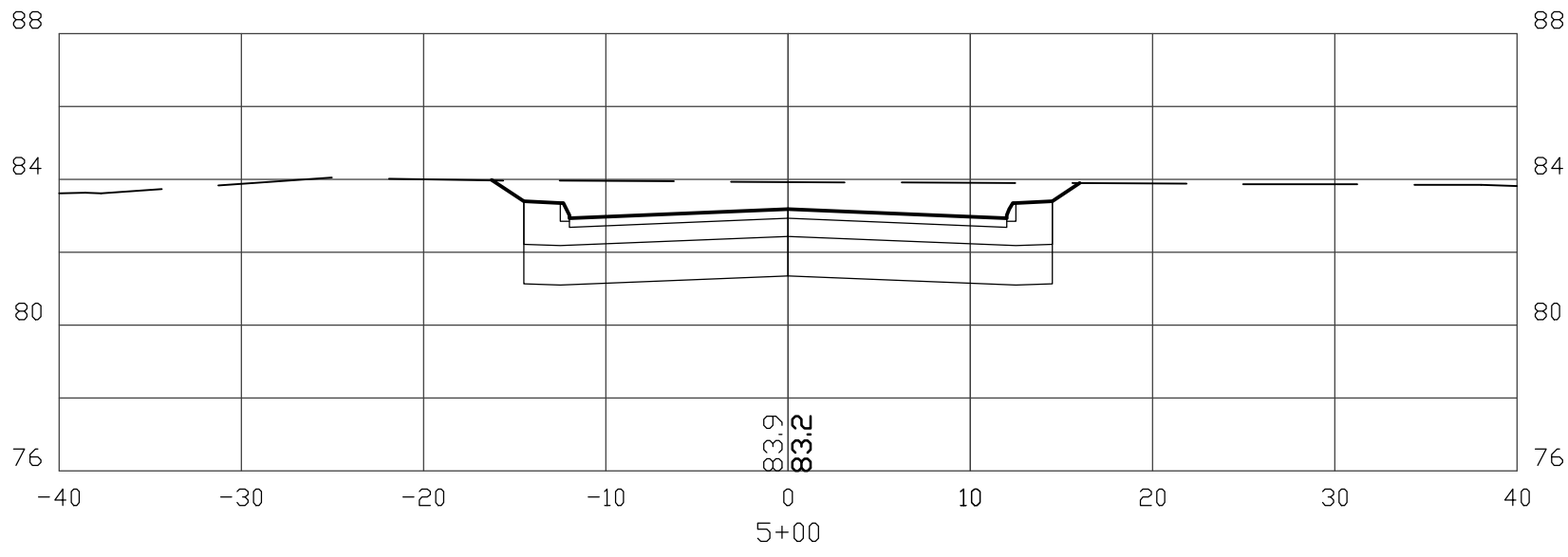
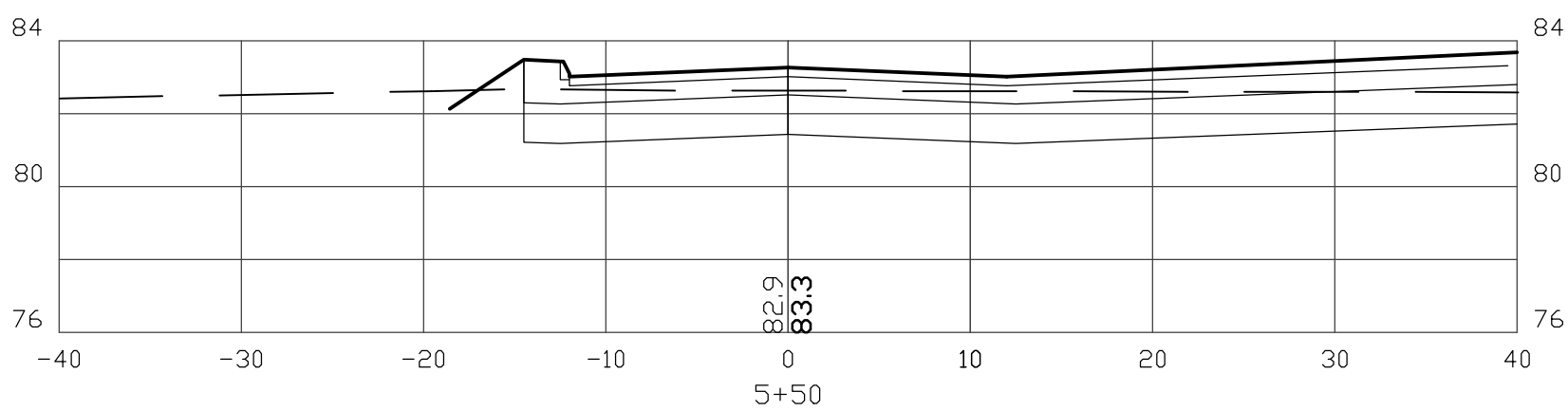
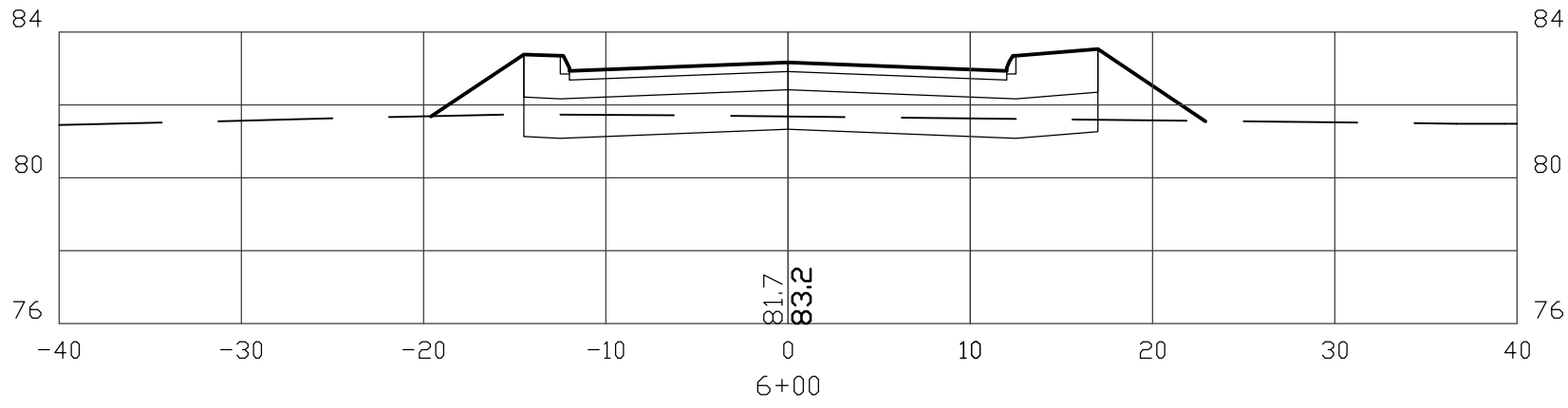
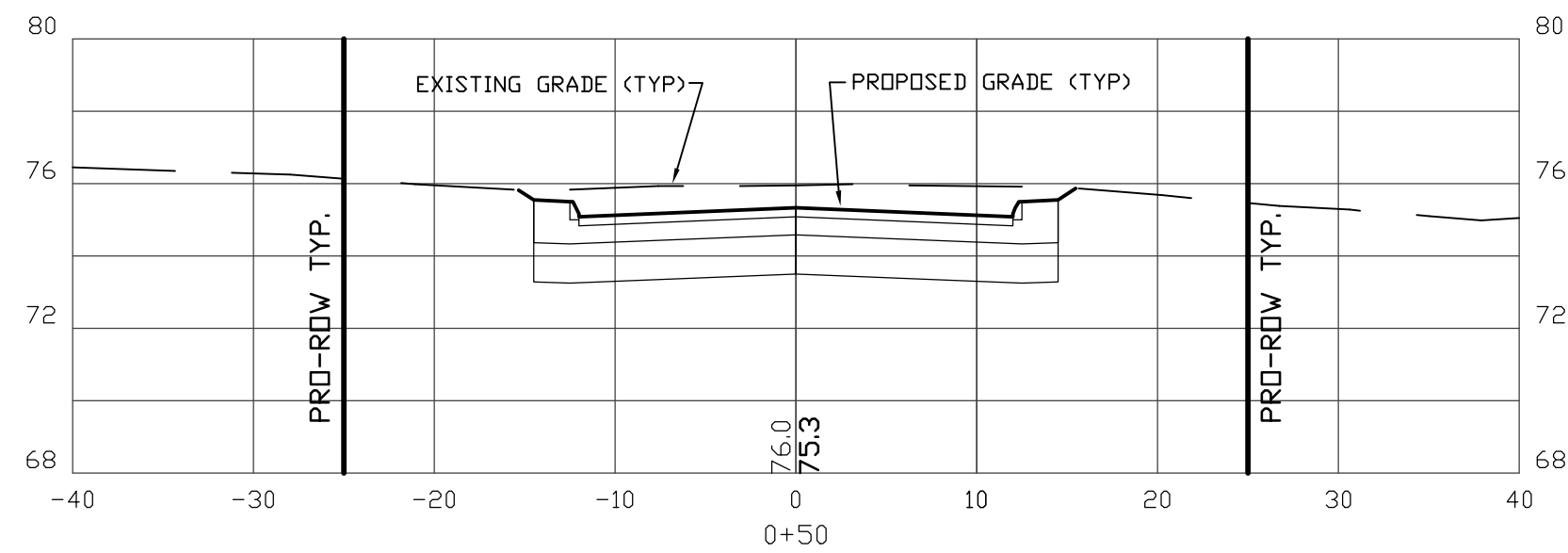
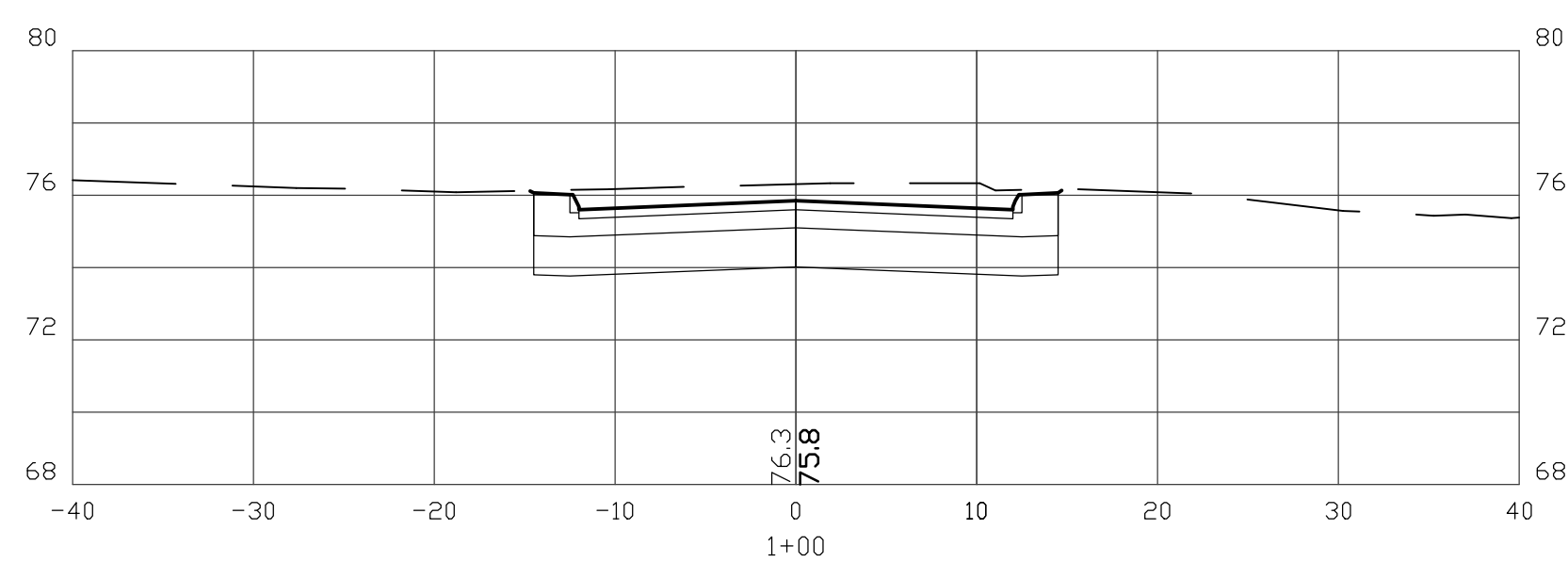
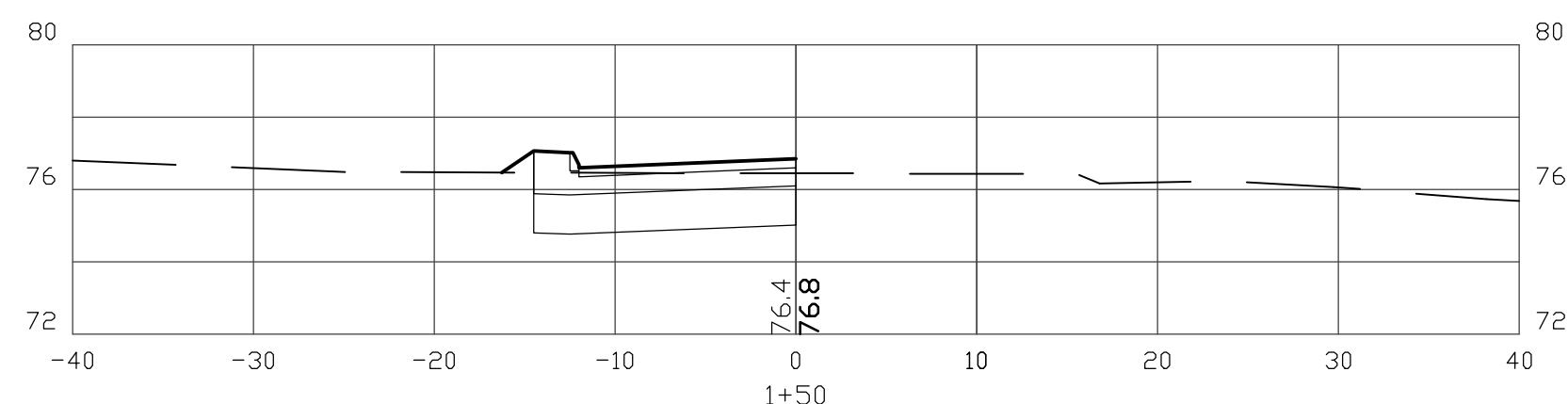
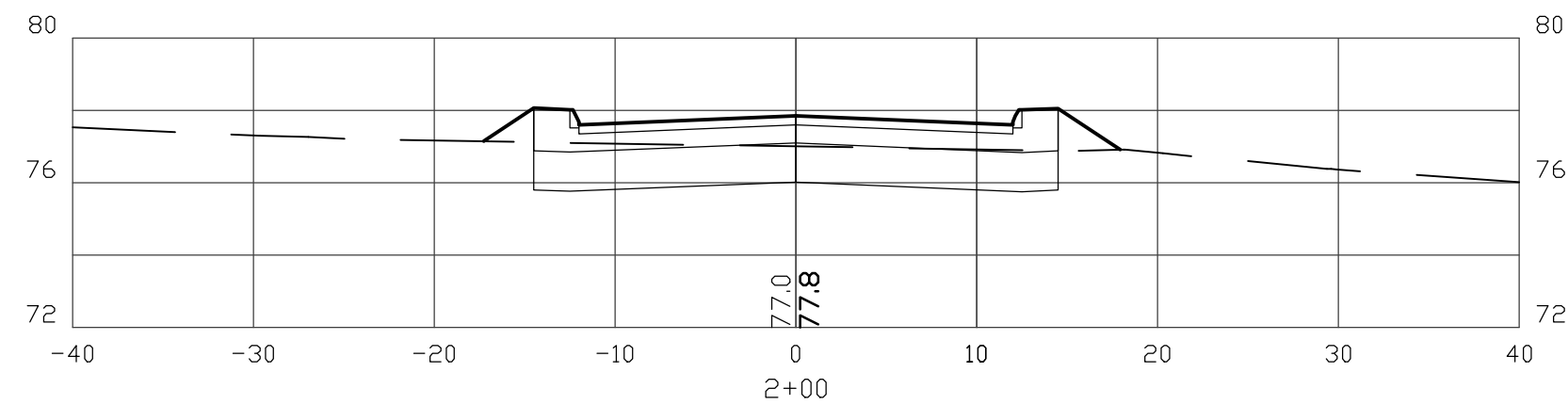
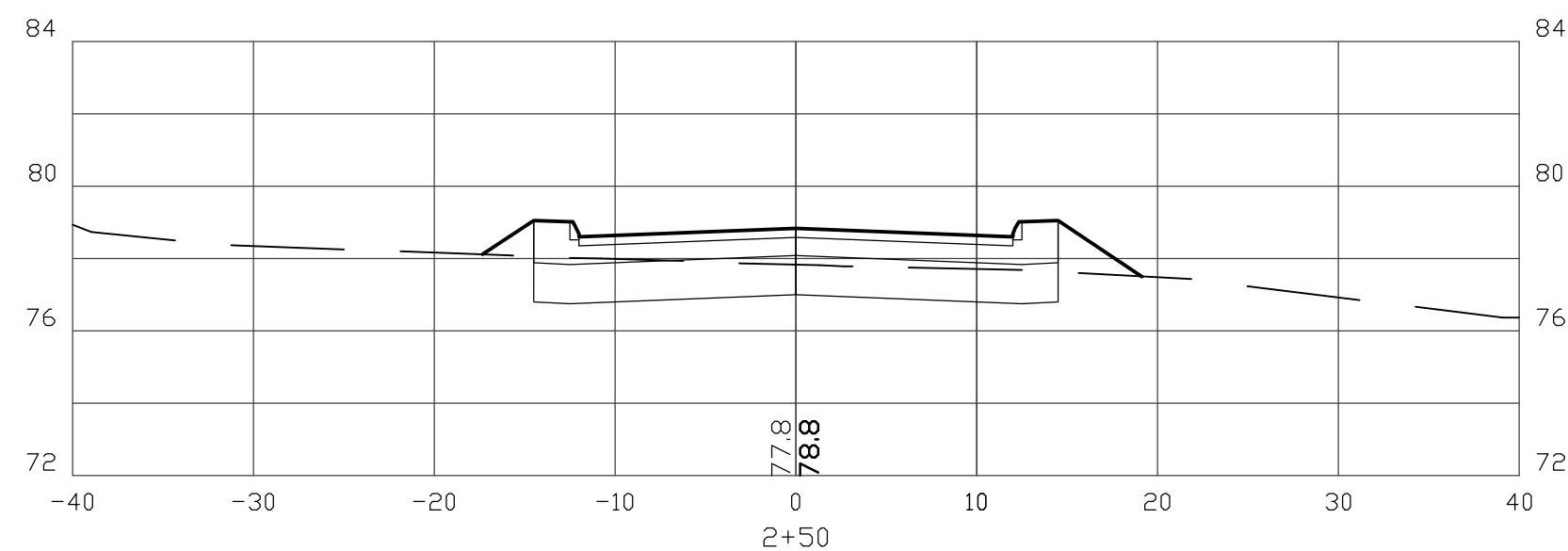
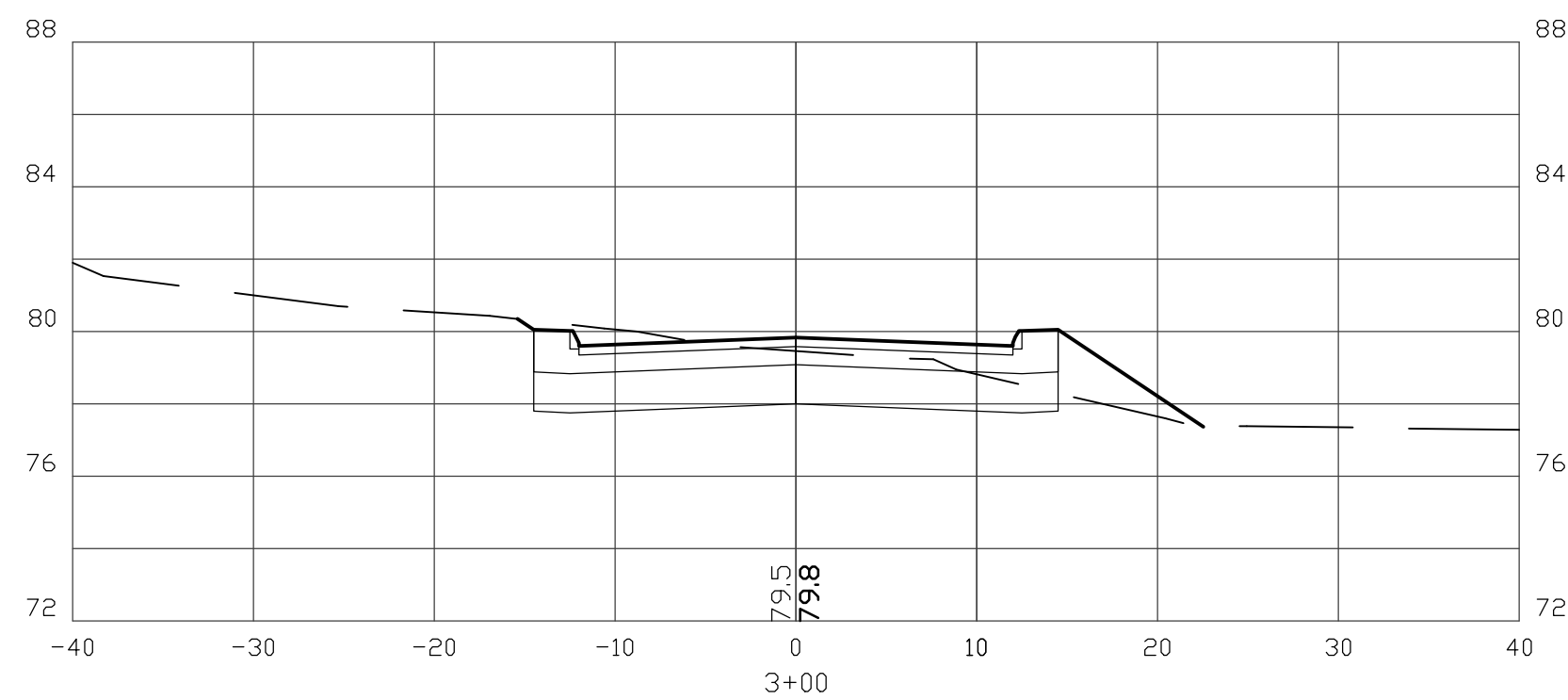
| SEEDING RATES TABLE H-E1 | | | |
|---|-----------------|--------------------------|--|
| MIXTURE | POUNDS PER ACRE | POUNDS PER 1,000 Sq. Ft. | |
| A. TALL FESCUE CREEPING RED FESCUE RED TOP TOTAL | 20 | 0.45 | |
| | 20 | 0.45 | |
| | 20 | 0.45 | |
| | 60 | 1.35 | |
| B. TALL FESCUE CREEPING RED FESCUE CROWN VETCH OR FLAT PEA TOTAL | 15 | 0.35 | |
| | 10 | 0.25 | |
| | 15 | 0.35 | |
| | 40 | 0.95 | |
| C. TALL FESCUE CREEPING RED FESCUE BIRDS FOOT TREFOIL TOTAL | 20 | 0.45 | |
| | 20 | 0.45 | |
| | 8 | 0.25 | |
| | 48 | 1.10 | |
| D. TALL FESCUE FLAT PEA TOTAL | 20 | 0.45 | |
| | 30 | 0.75 | |
| | 50 | 1.20 | |
| E. CREEPING RED FESCUE 1/2 KENTUCKY BLUEGRASS 1/2 TOTAL | 50 | 1.15 | |
| | 50 | 1.15 | |
| | 100 | 2.30 | |
| F. TALL FESCUE 1 | 150 | 3.60 | |
| | | | |

1/ FOR HEAVY USE ATHLETIC FIELDS CONSULT THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION TURF SPECIALIST FOR CURRENT VARIETIES AND SEEDING RATES.

EROSION & SEDIMENTATION

PLAN FOR: RESIDENTIAL DEVELOPMENT TOWER PLACE GREENLAND, NH

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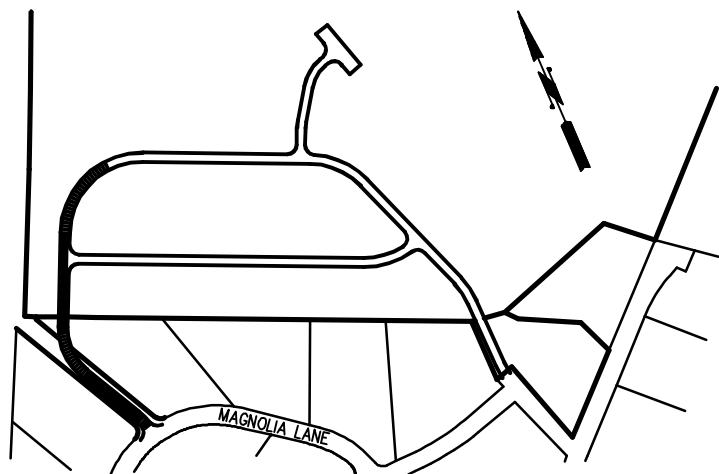


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CONSTRUCTION LOCUS MAP
1"=500'

REVISIONS:

DATE:

ROAD CROSS SECTIONS X1

PLAN FOR:
RESIDENTIAL DEVELOPMENT
TOWER PLACE
GREENLAND, NH

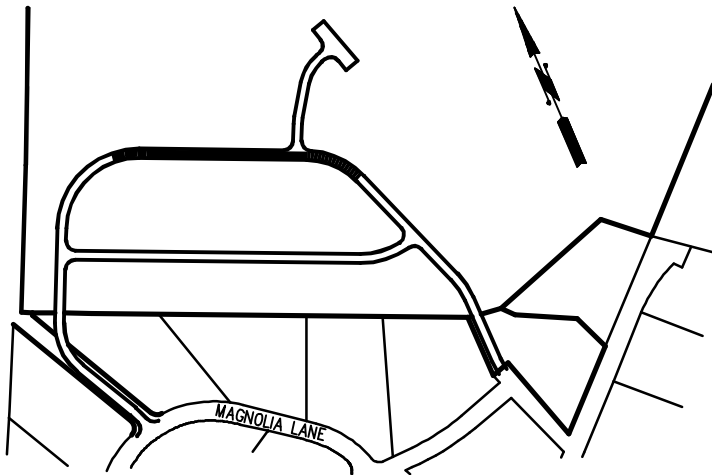
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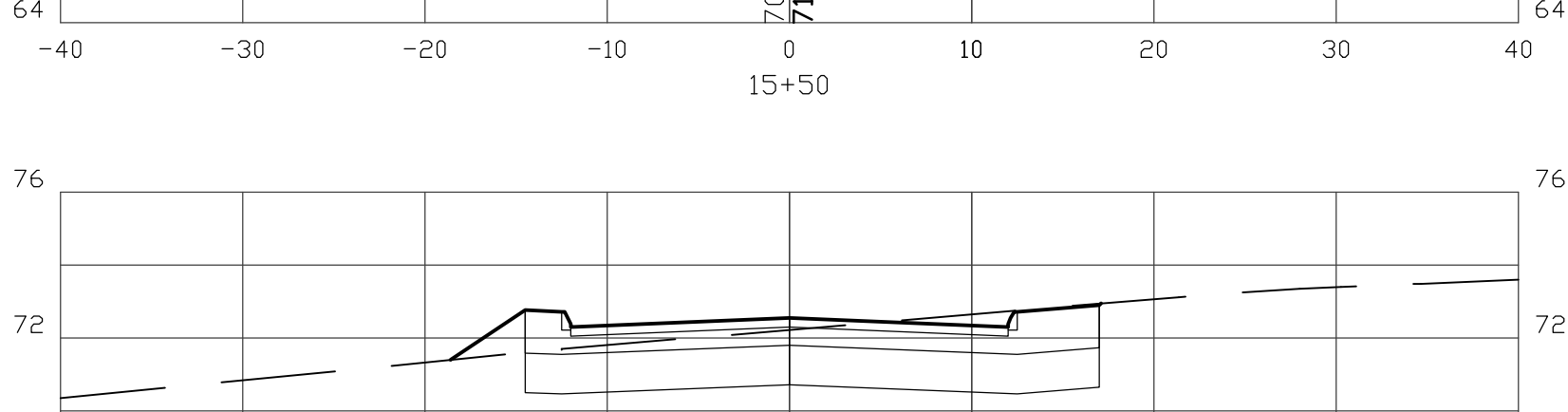
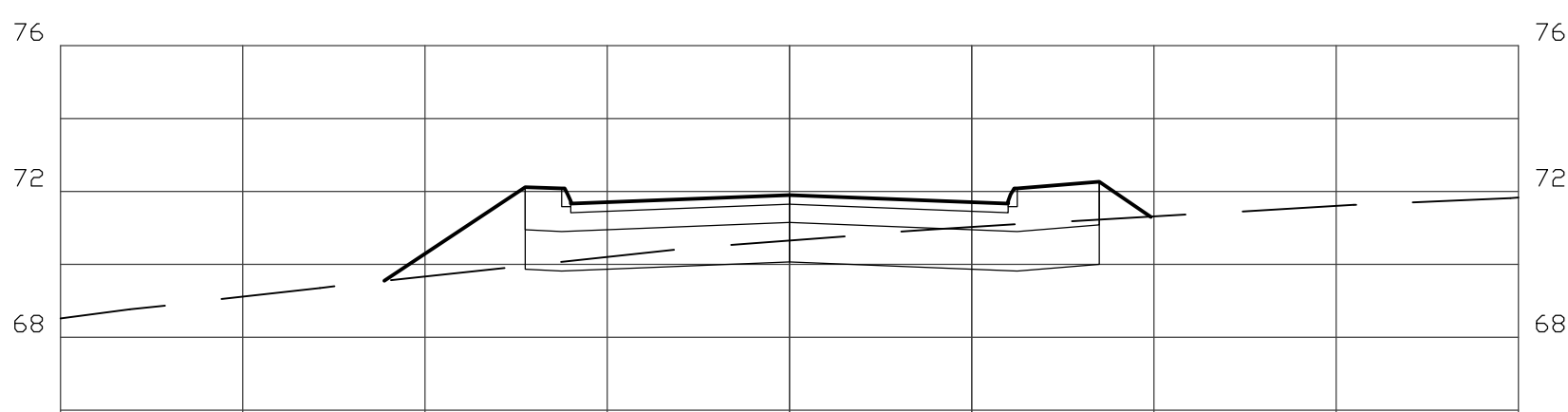
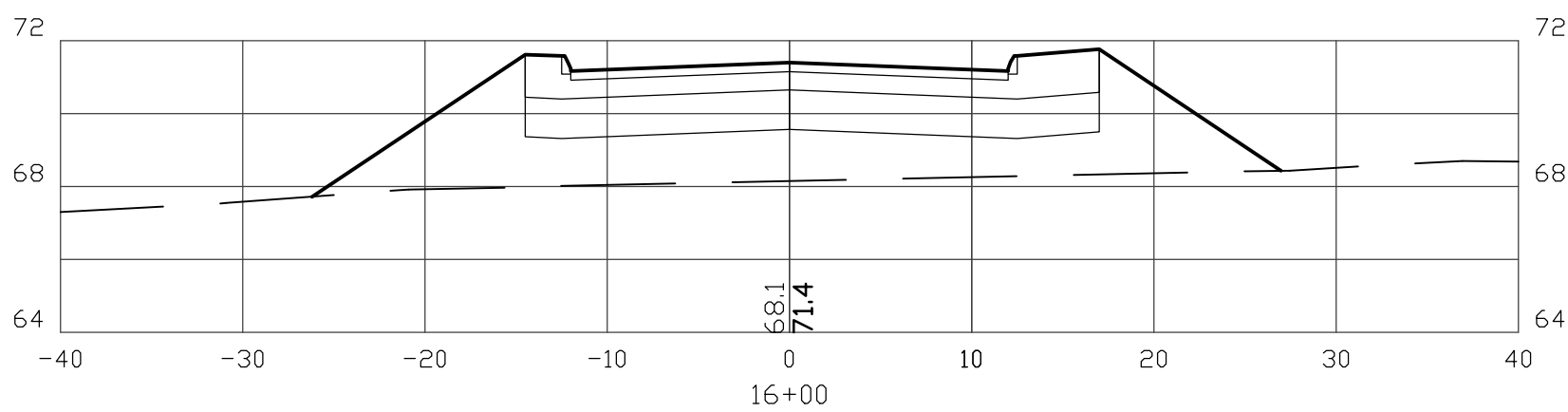
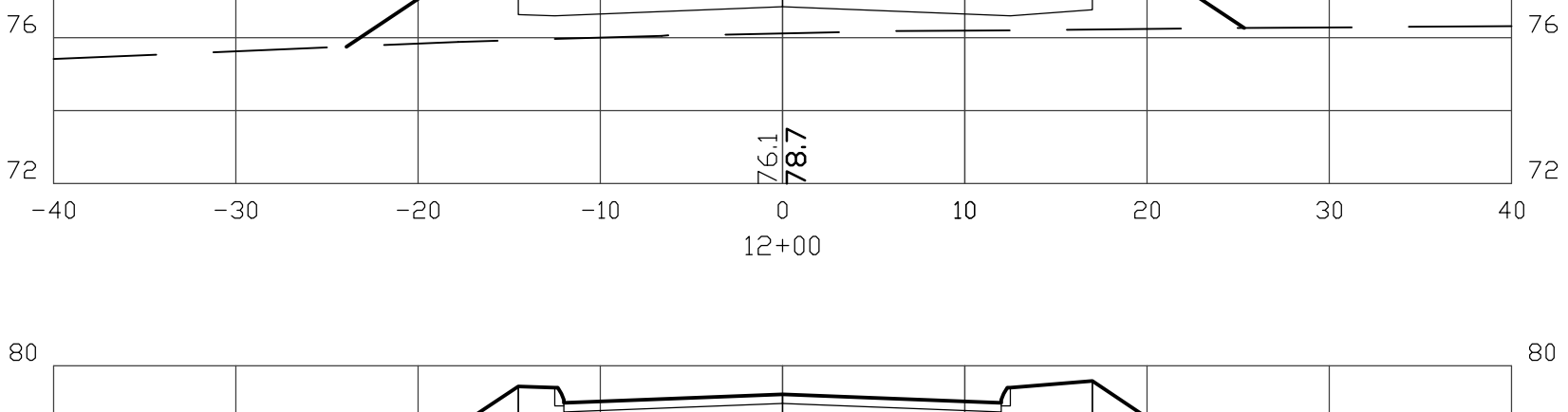
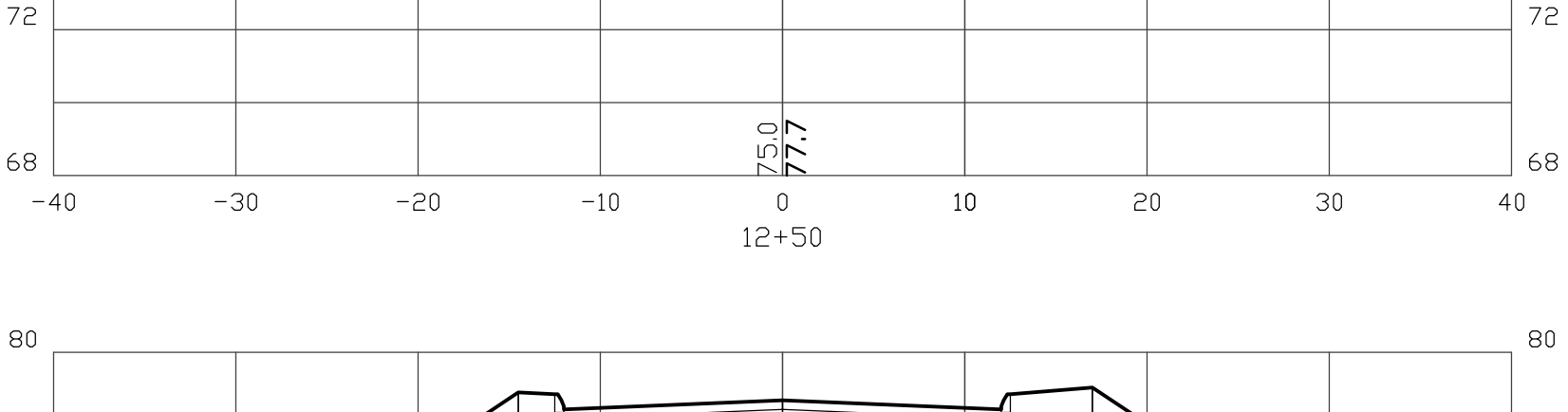
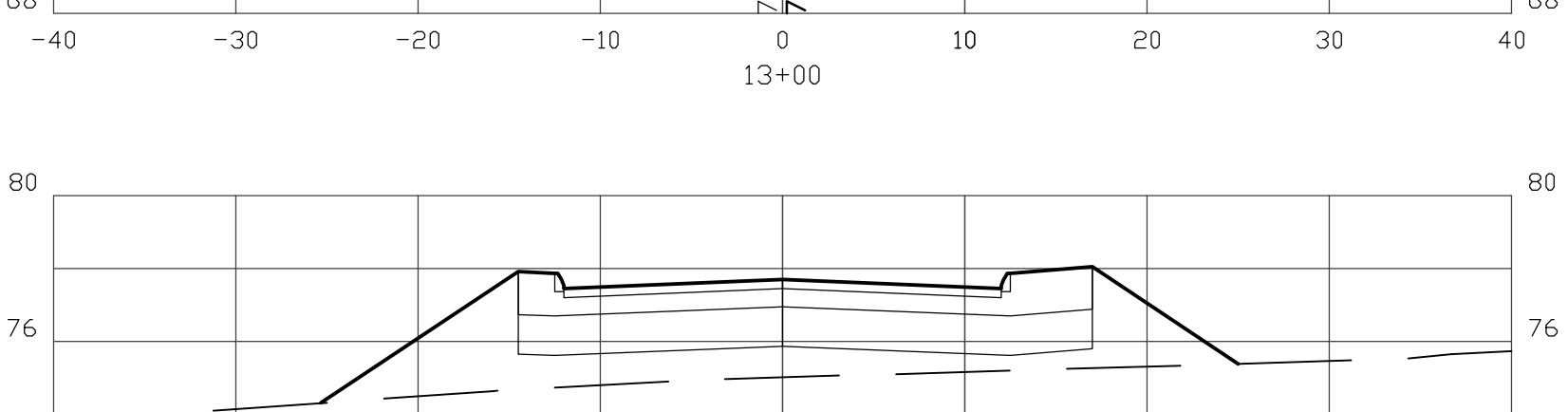
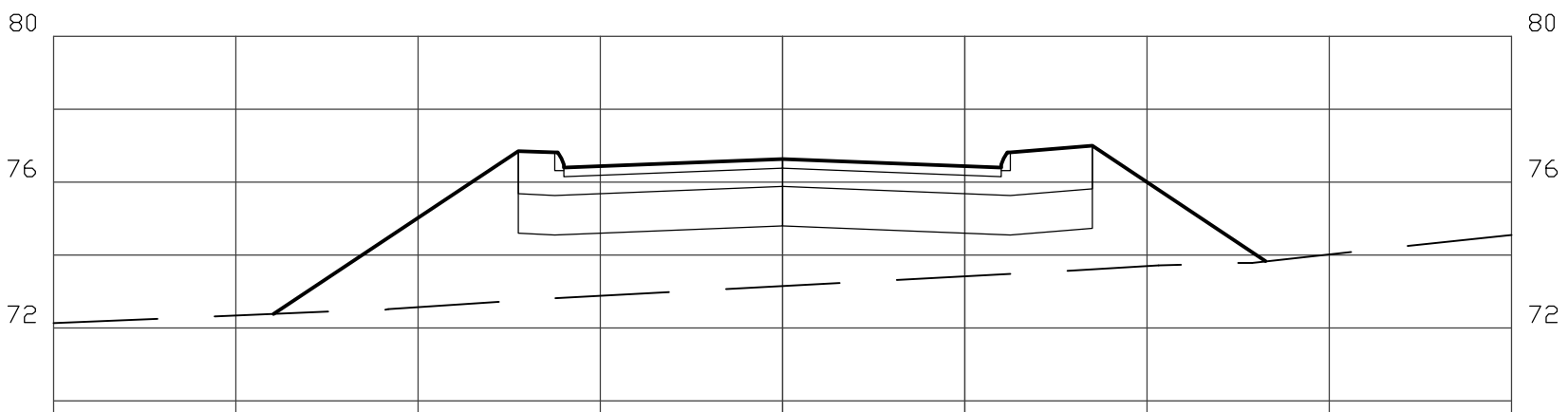
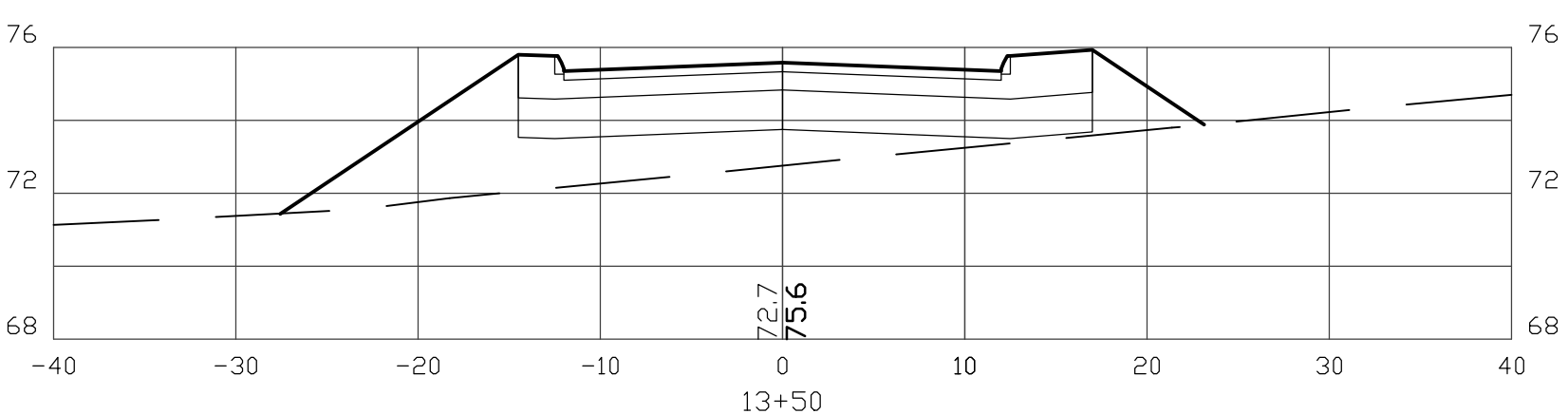
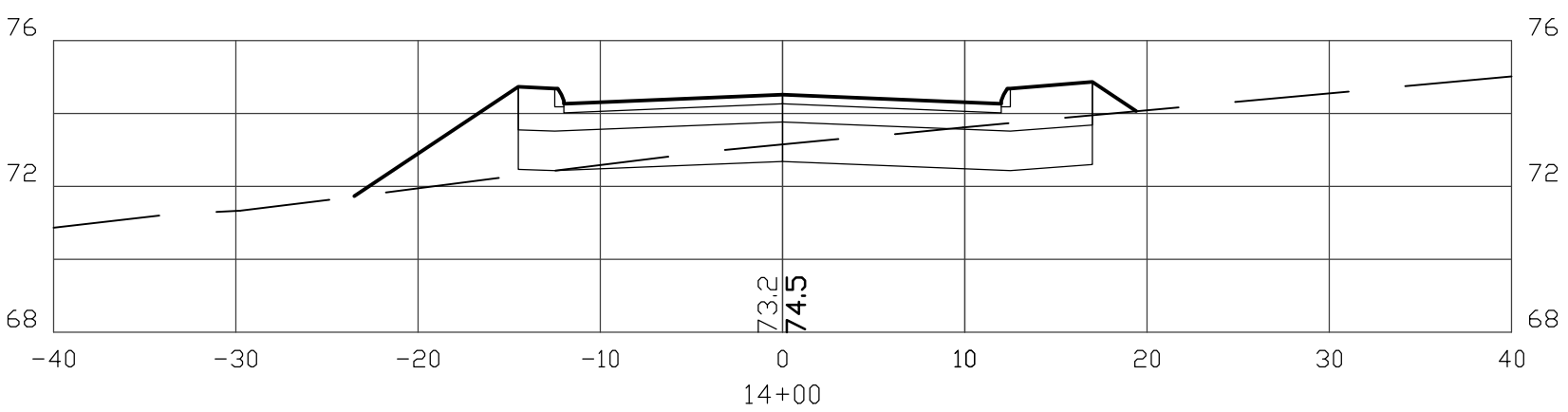
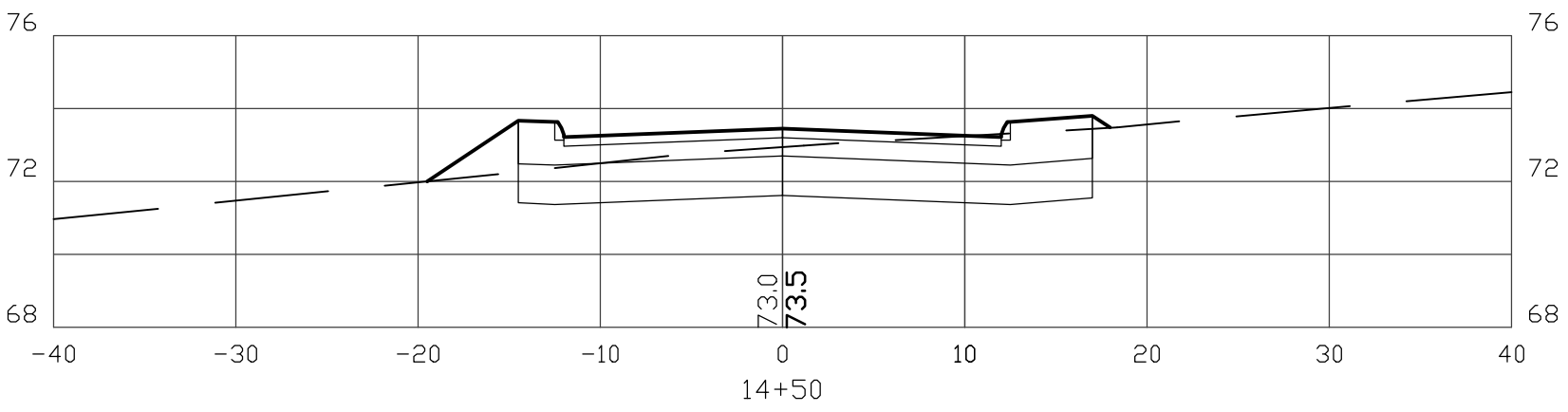
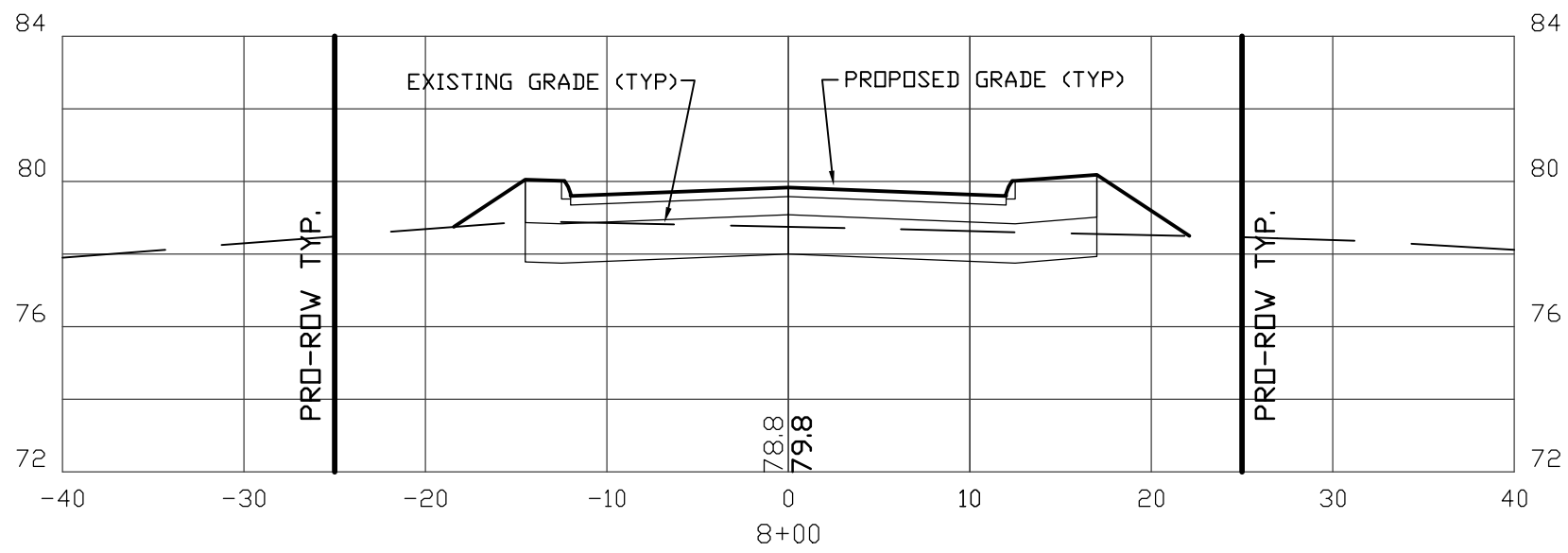
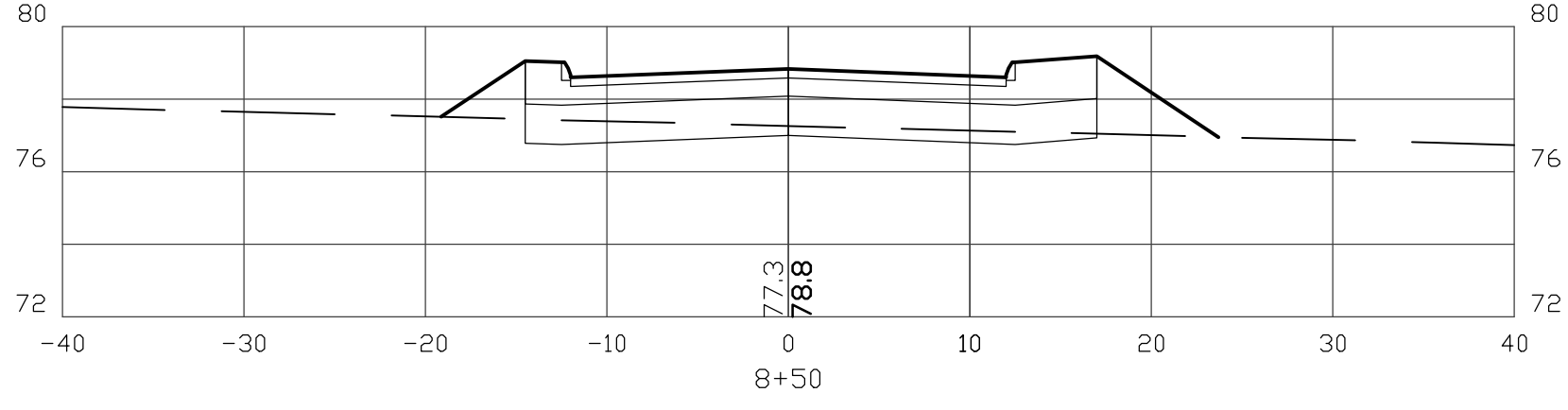
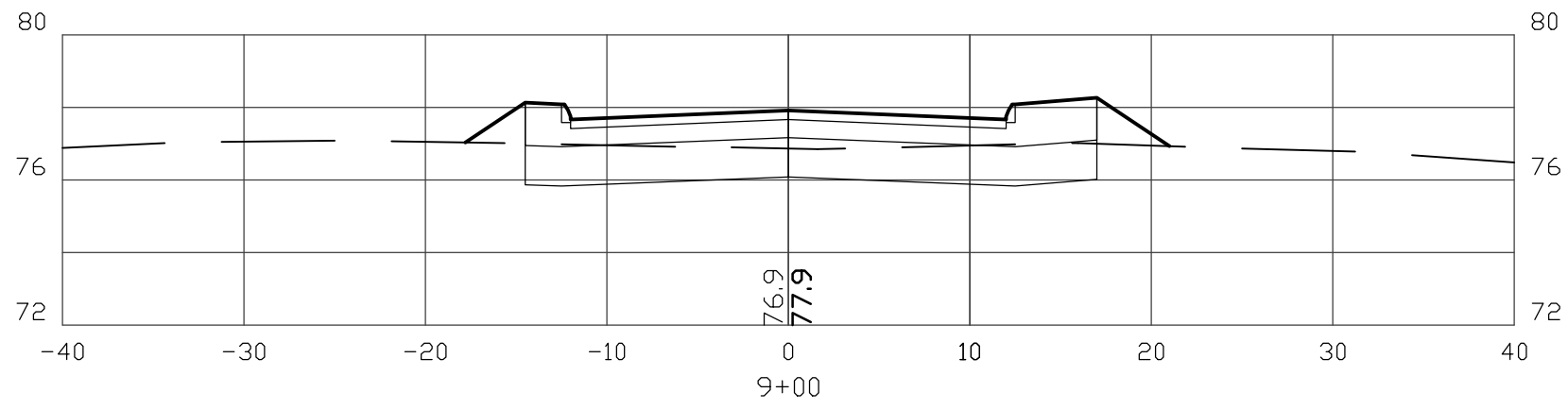
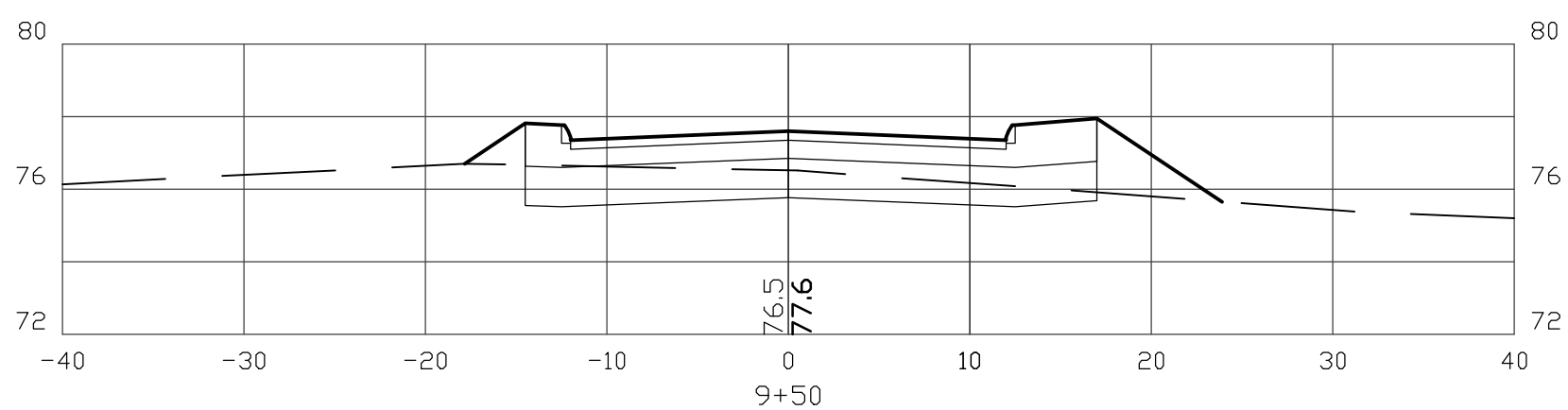
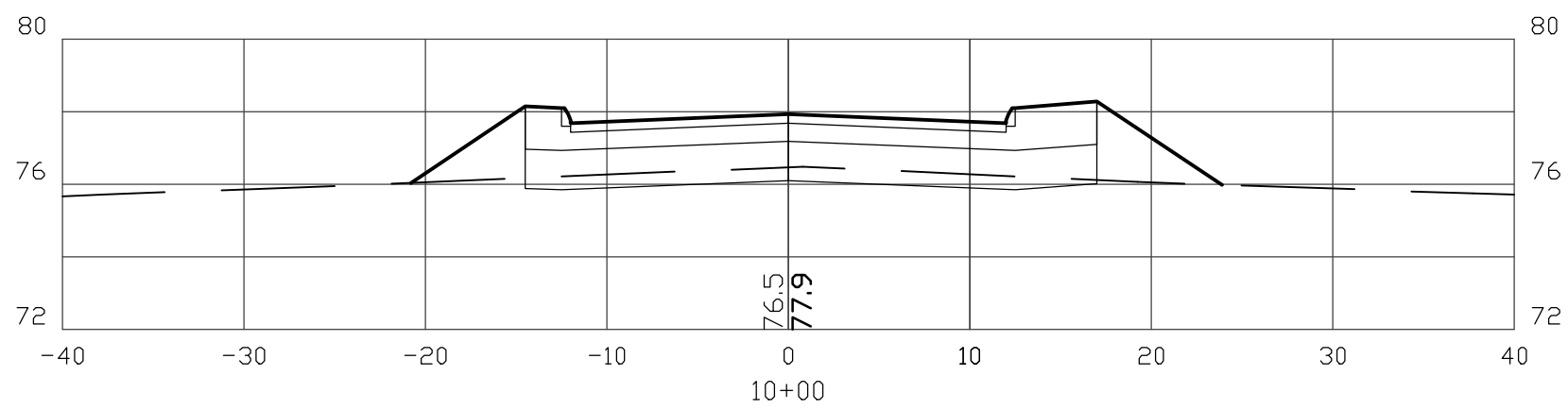
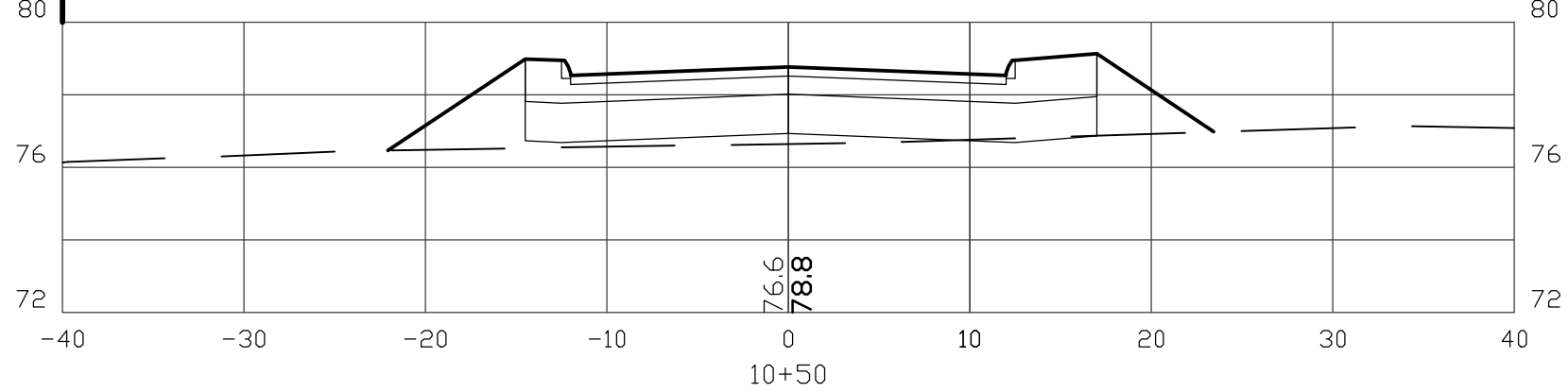
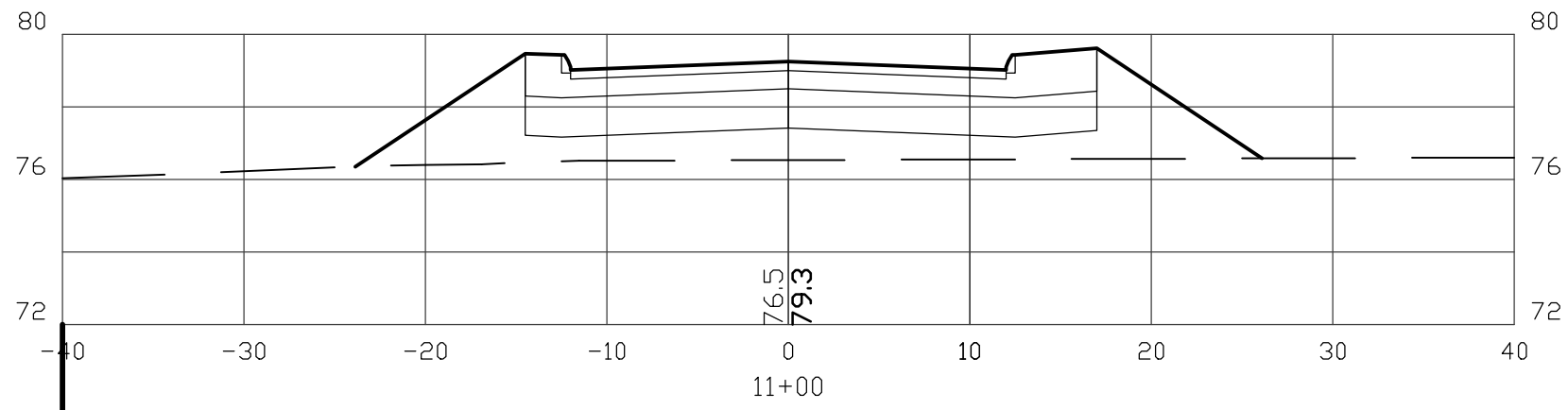
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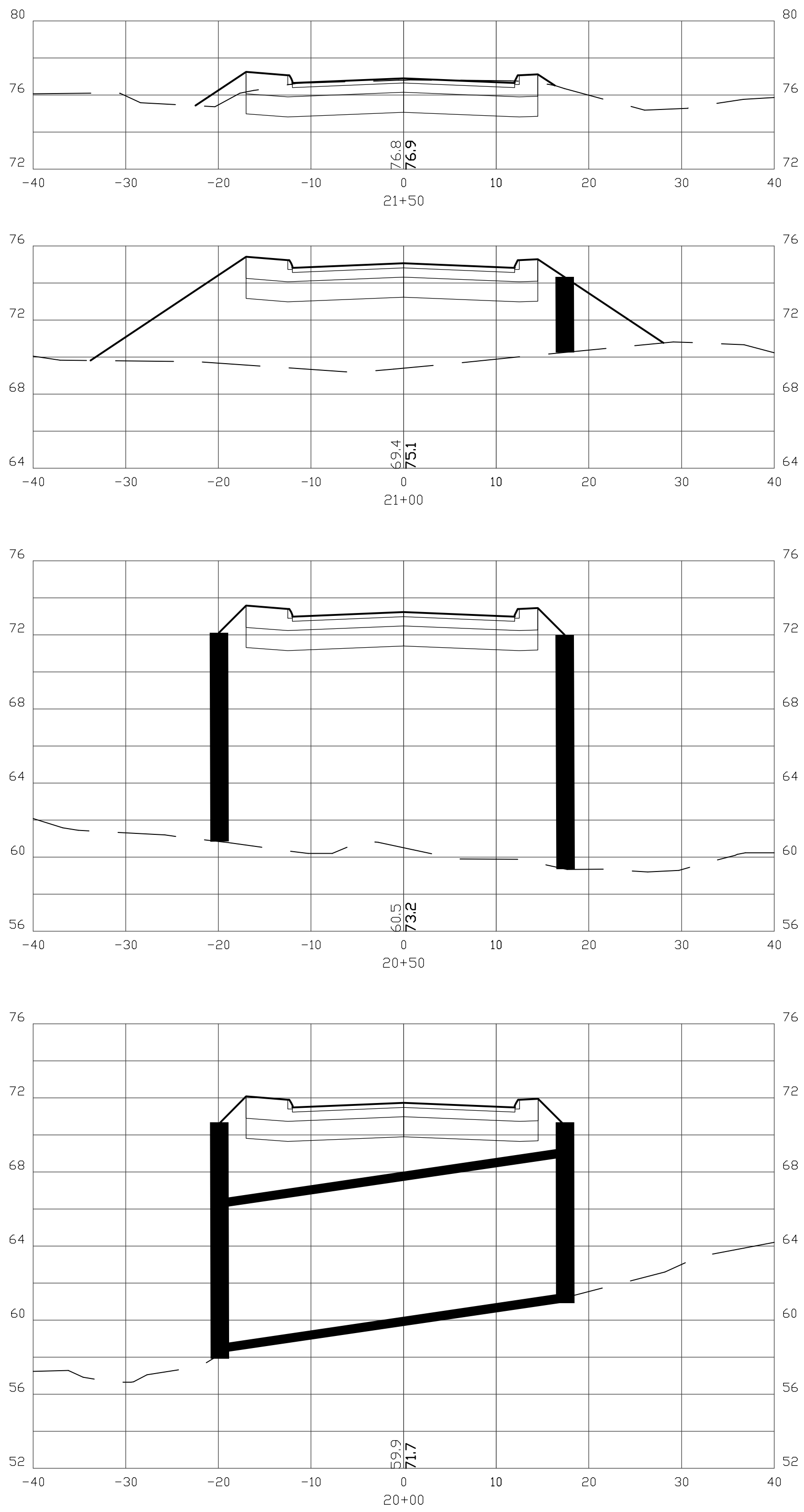
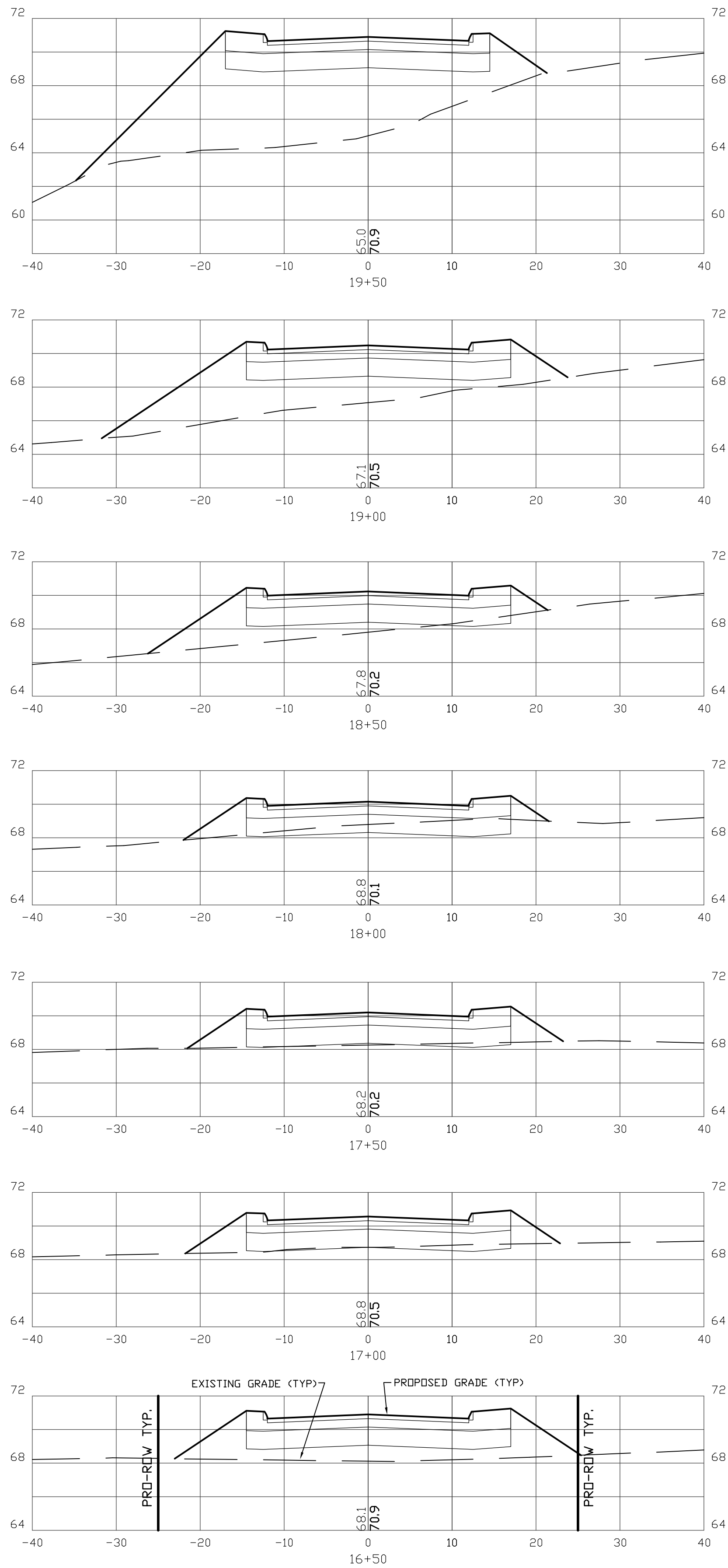
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PHONE: 603-583-4860,
FAX: 603-583-4863



CONSTRUCTION LOCUS MAP
1"=500'



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| REVISIONS: | DATE: |
| ROAD CROSS SECTIONS X2 | |
| PLAN FOR: RESIDENTIAL DEVELOPMENT TOWER PLACE GREENLAND, NH | |
| DATE: | NOV 2021 |
| SCALE: | 1" = 10' |
| PROJ. NO: | NH-1360 |
| SHT NO. | 27 |

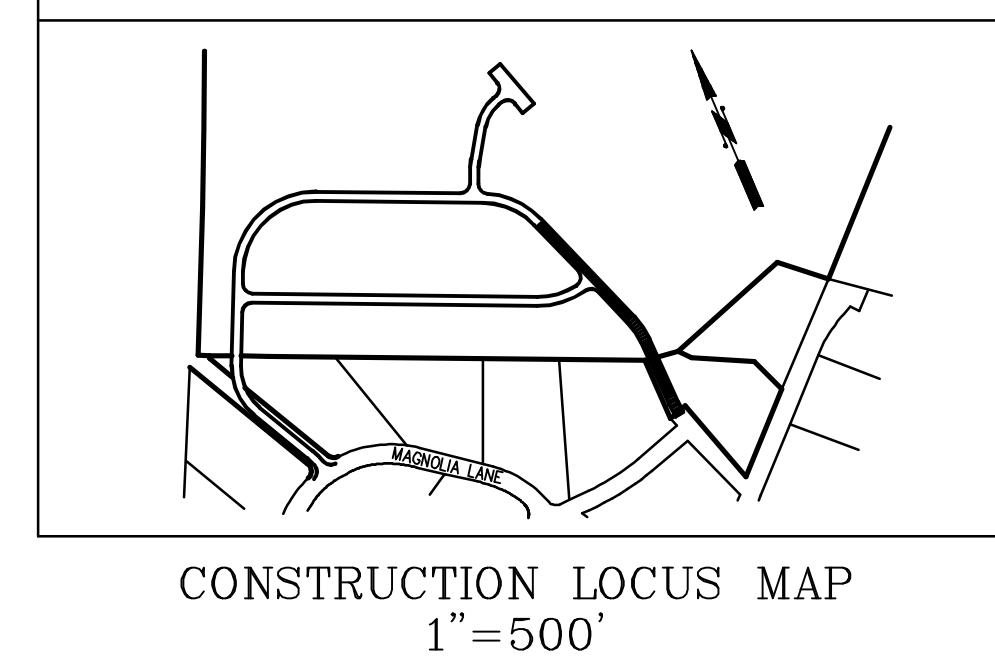


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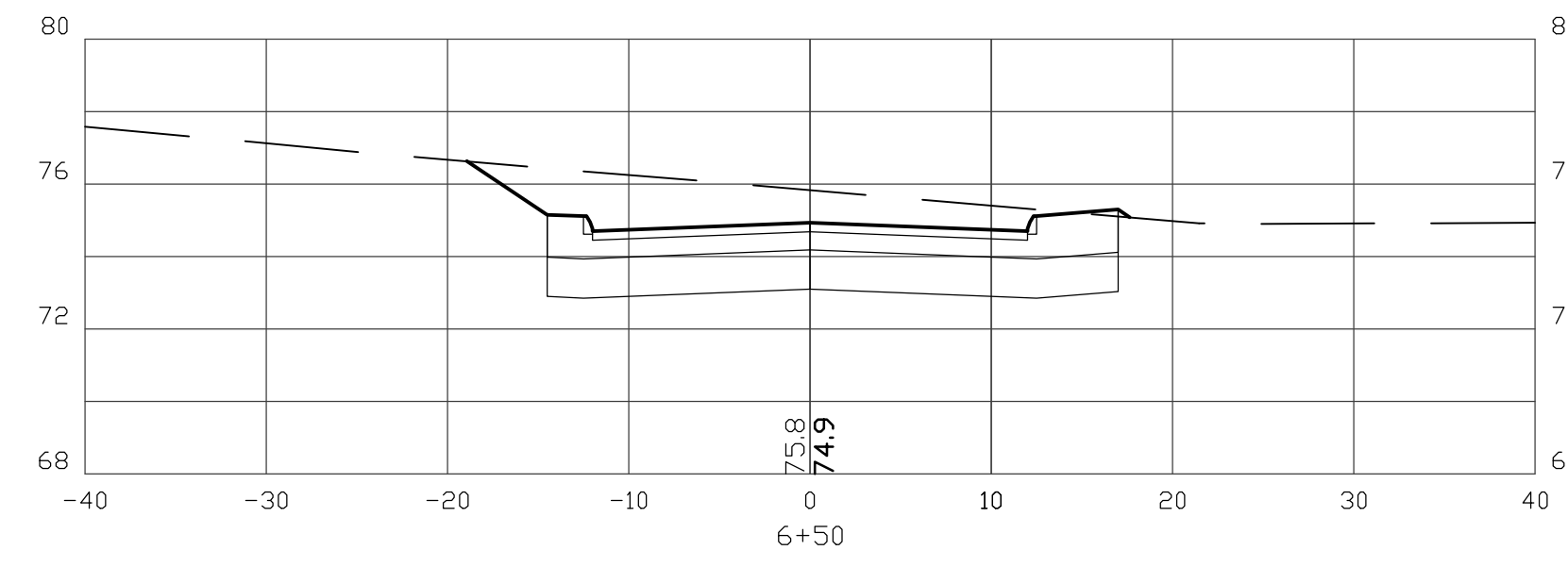
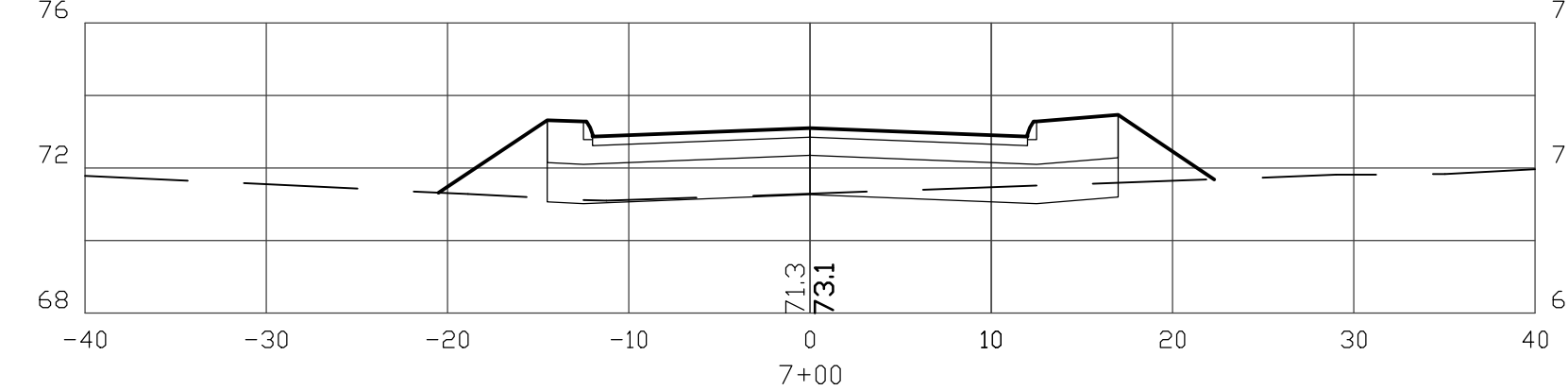
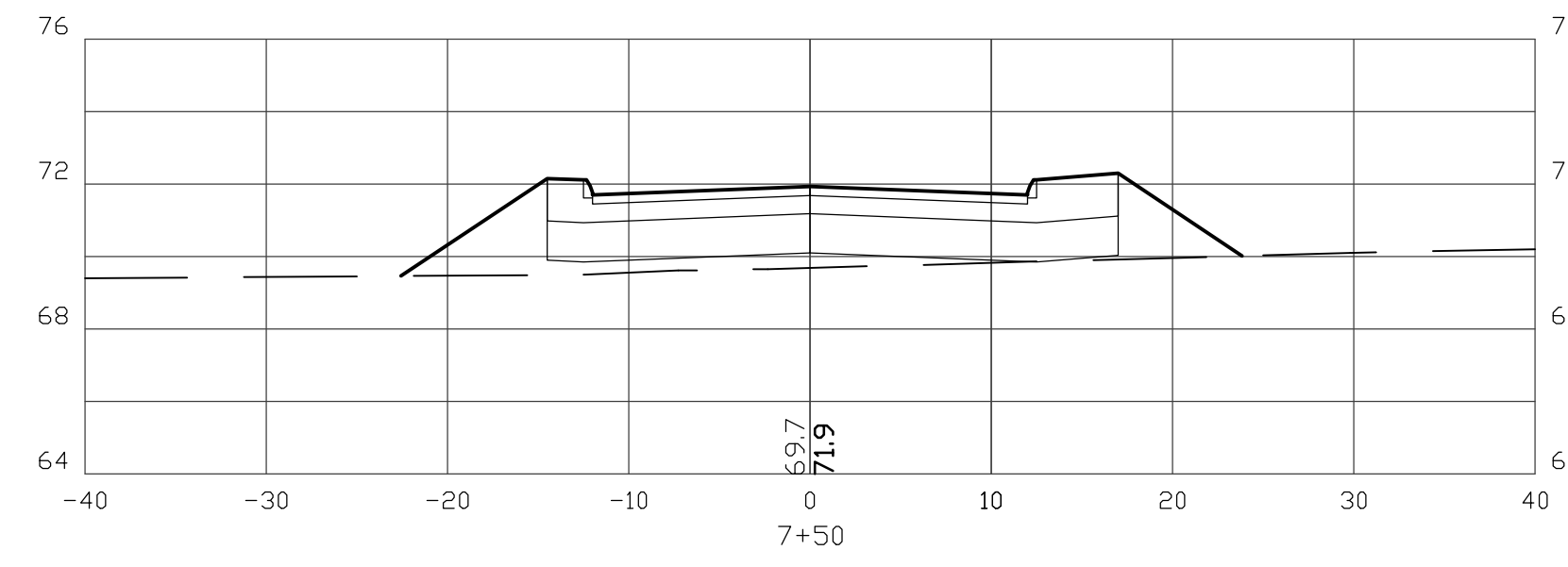
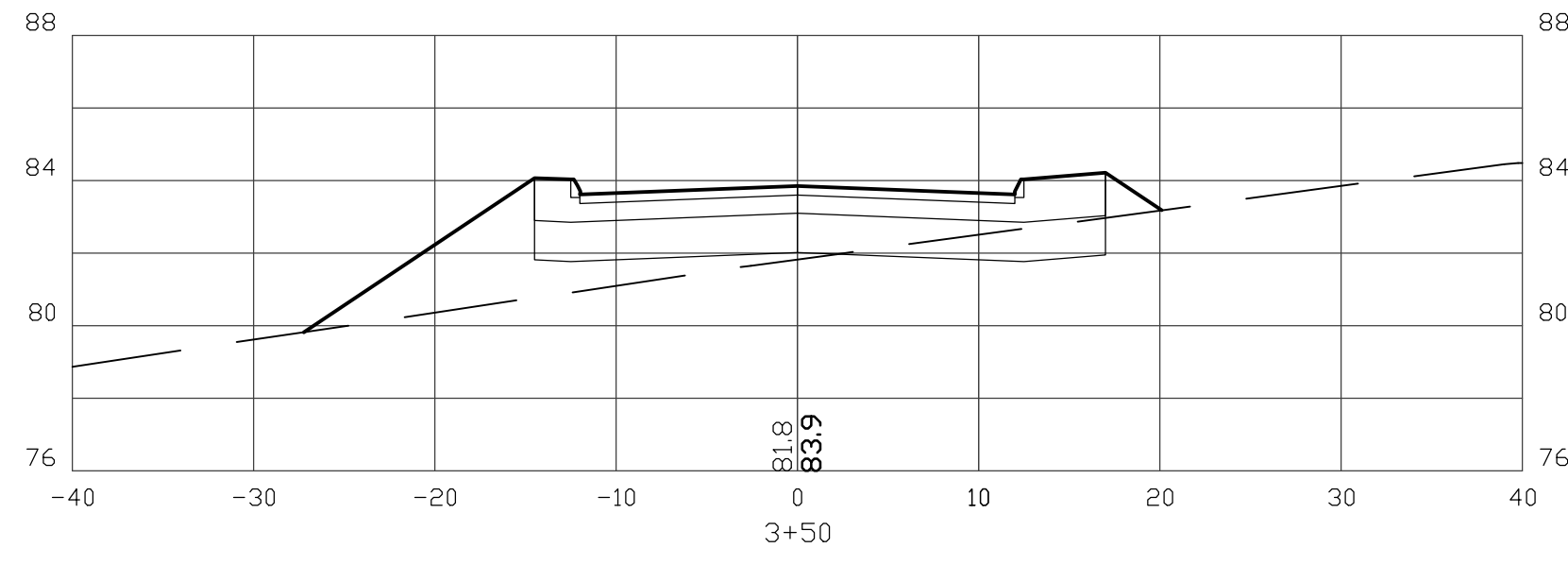
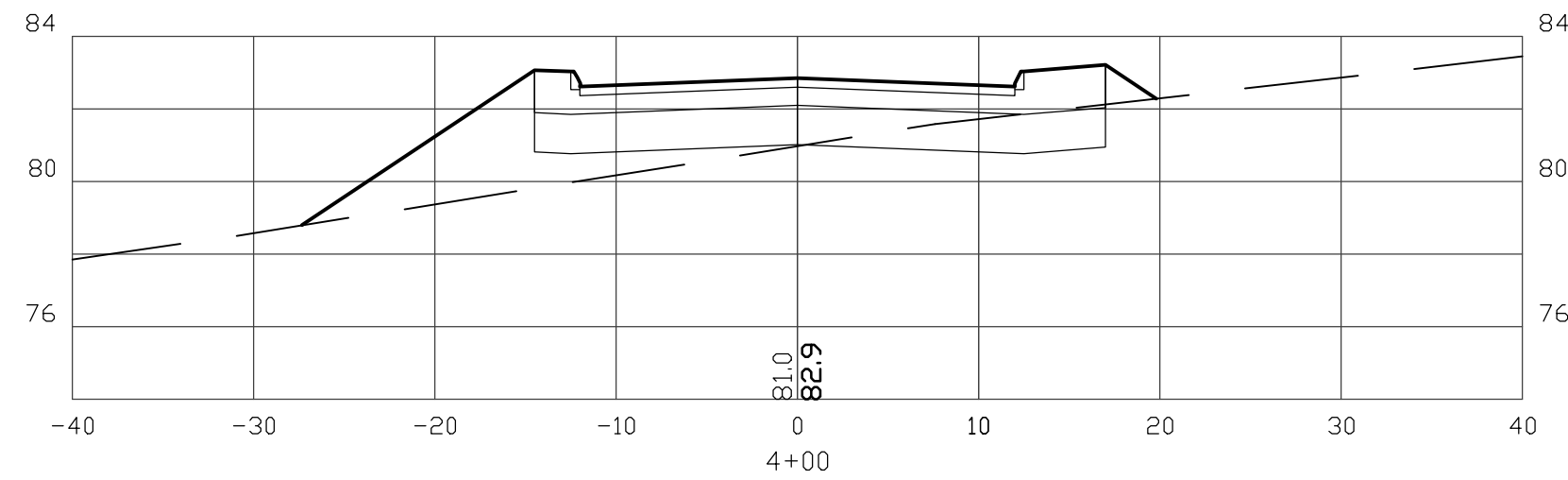
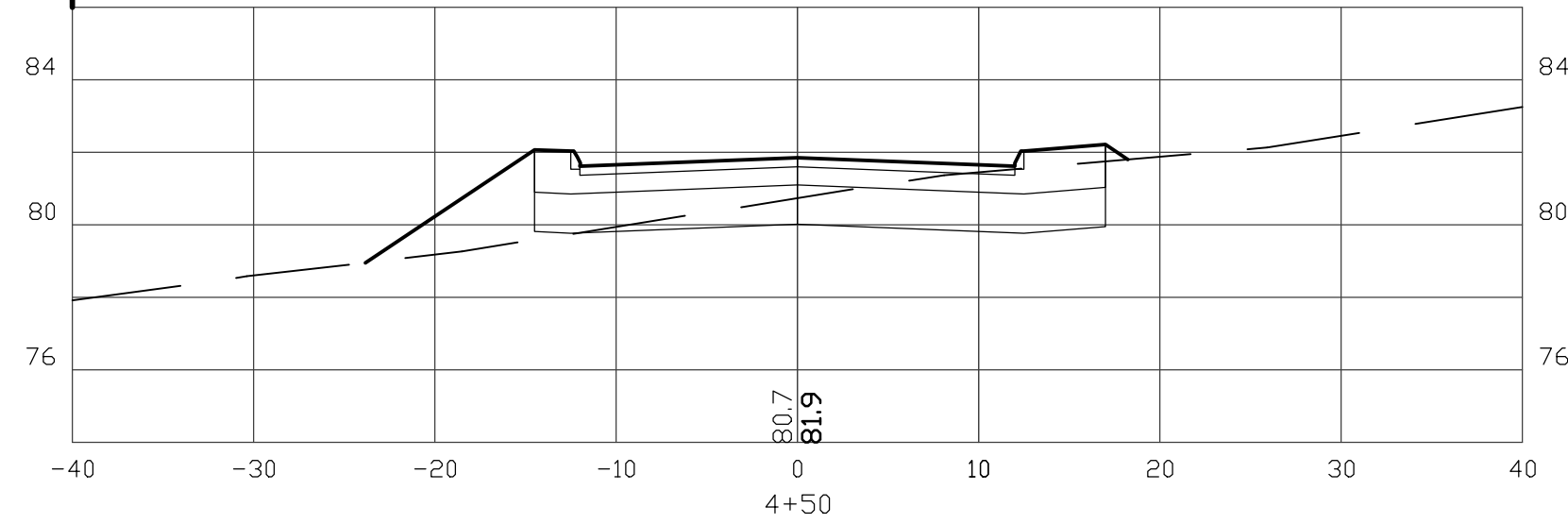
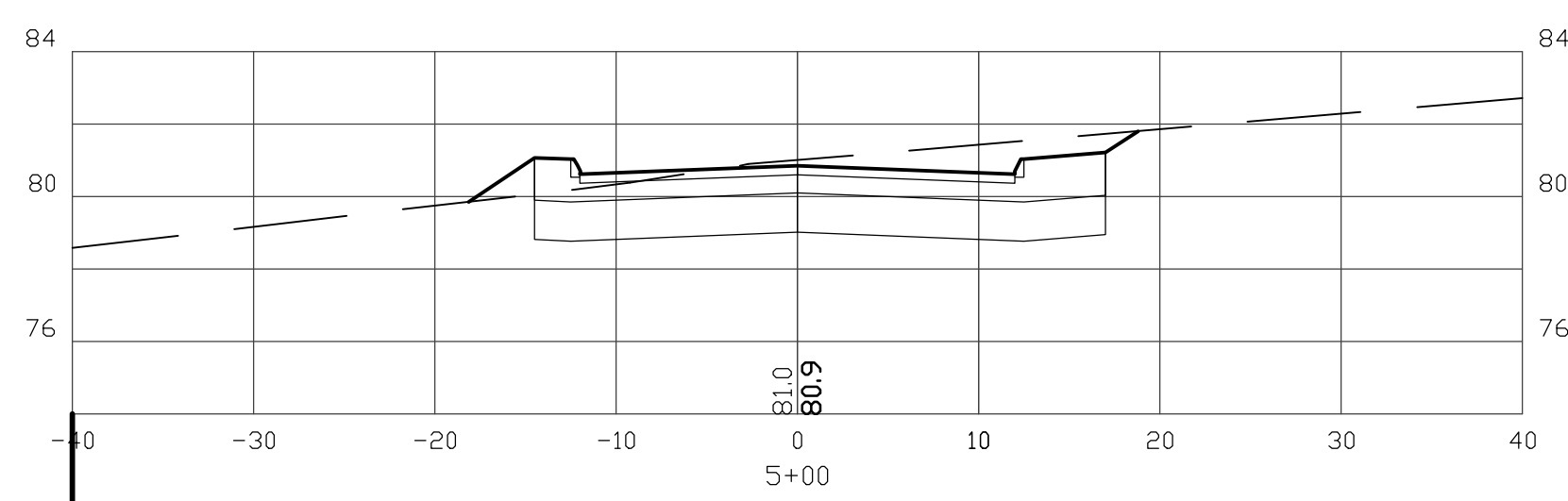
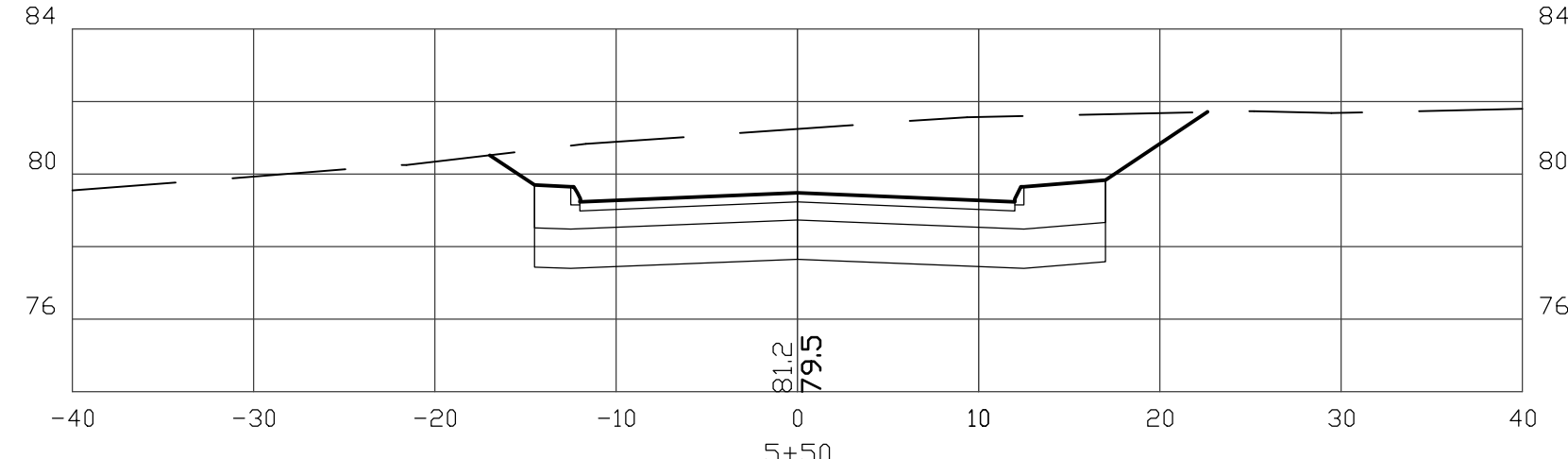
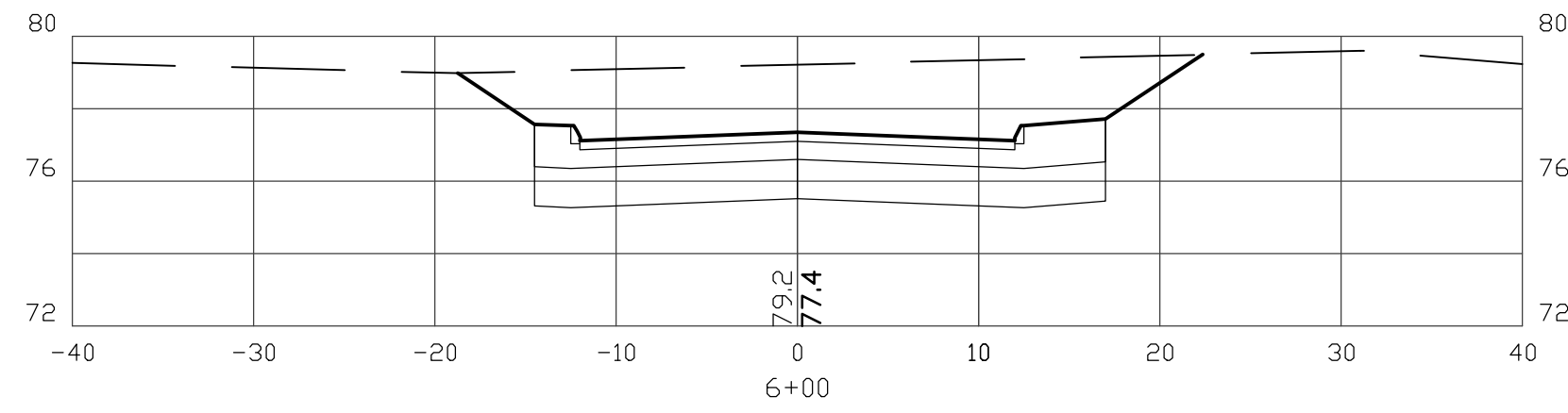
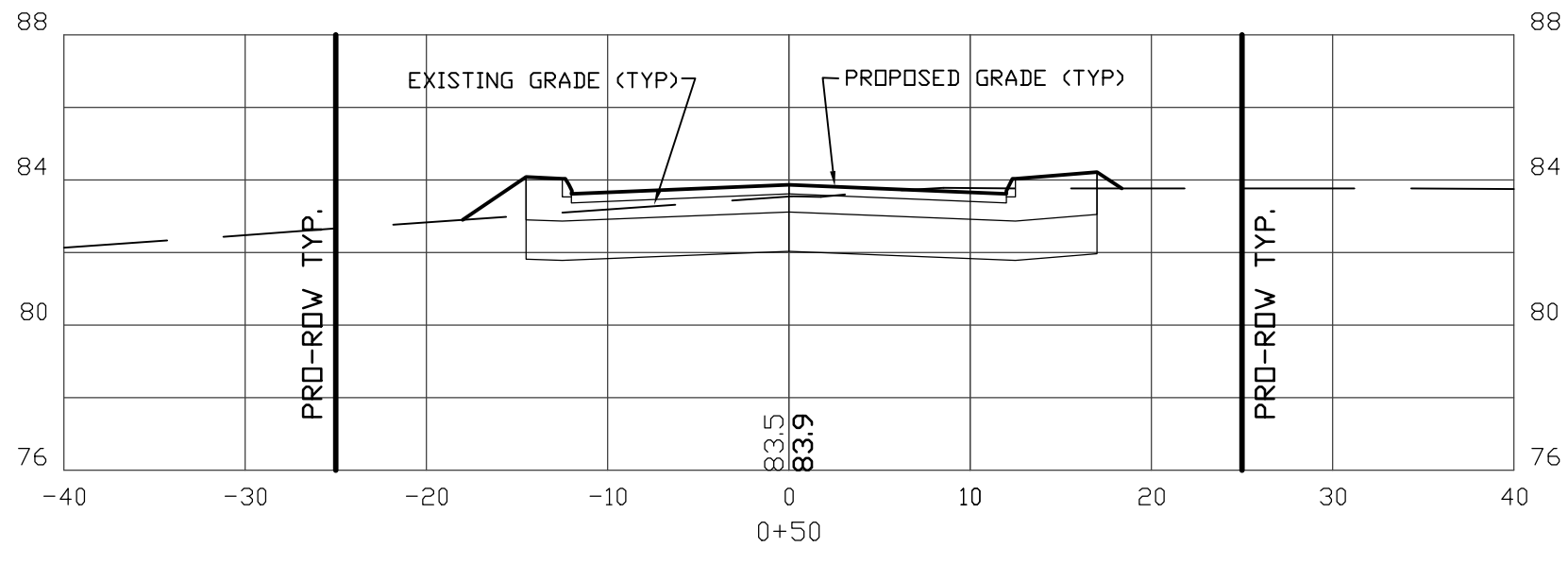
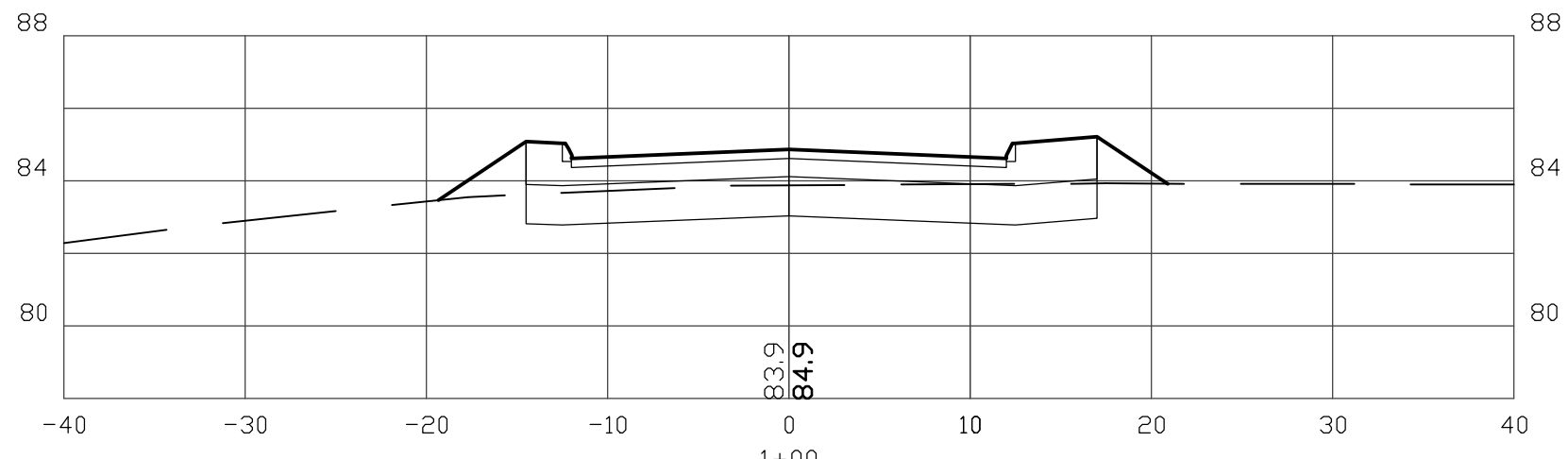
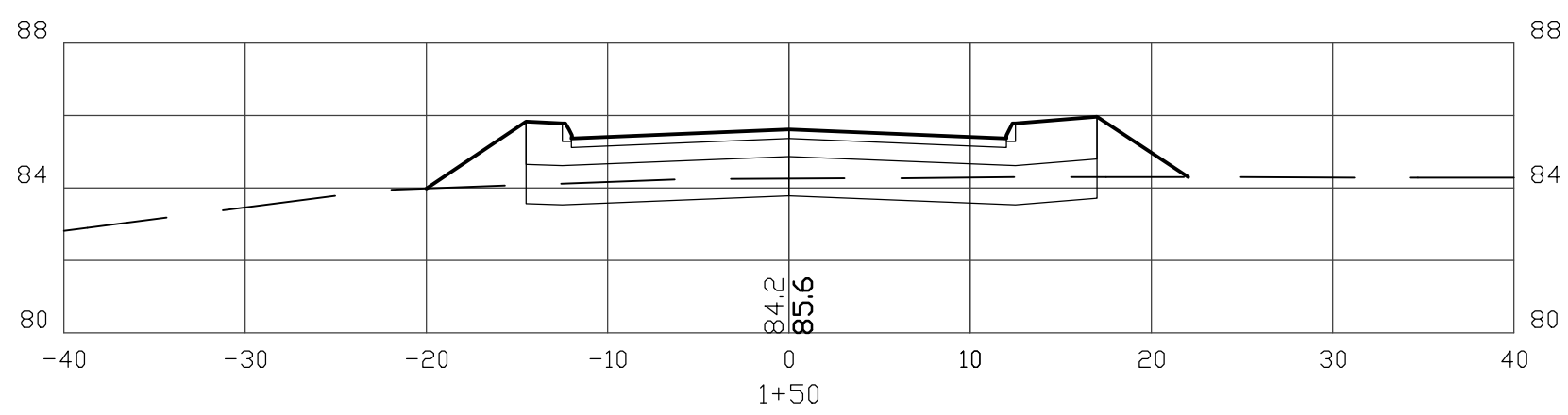
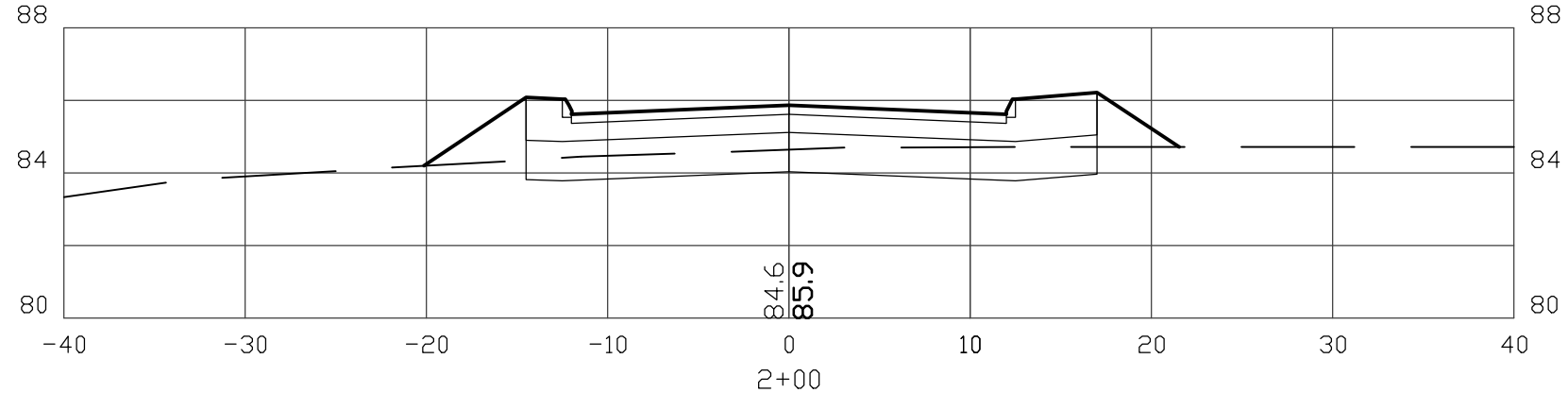
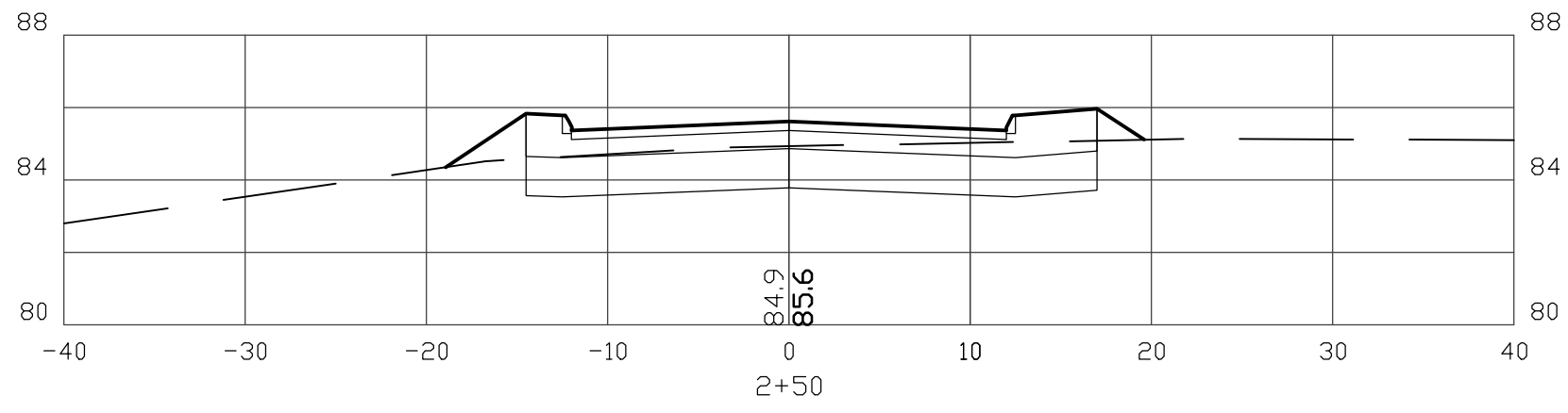
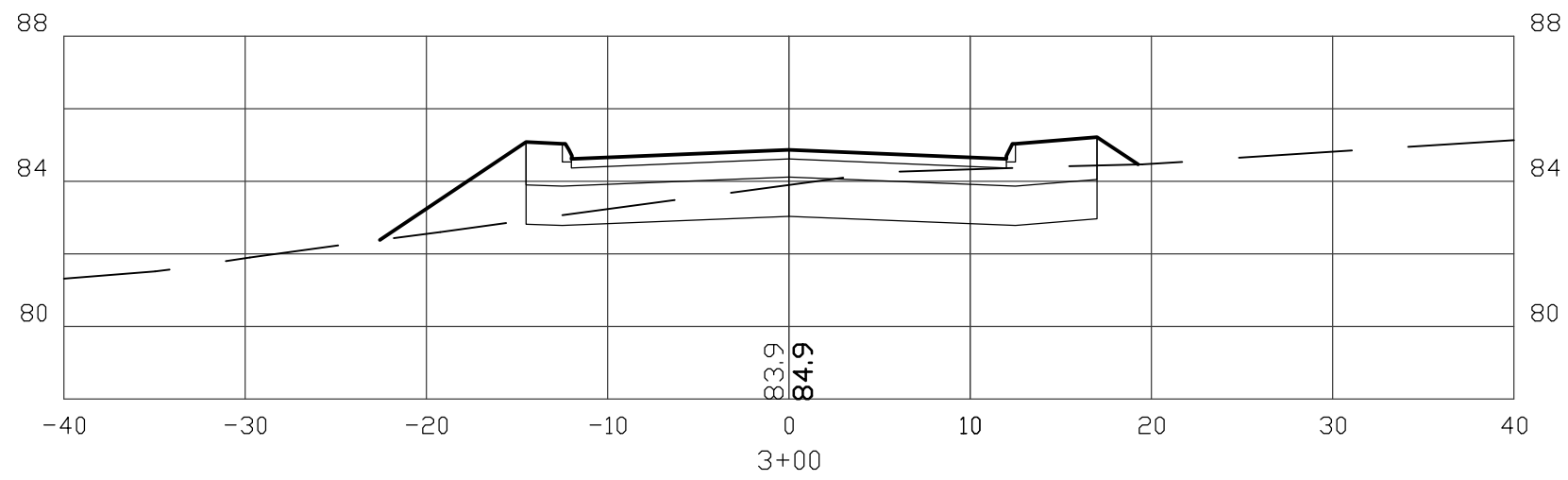
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, NH 03885

BA
BEALS
ASSOCIATES, PLLC

70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860,
FAX. 603-583-4863



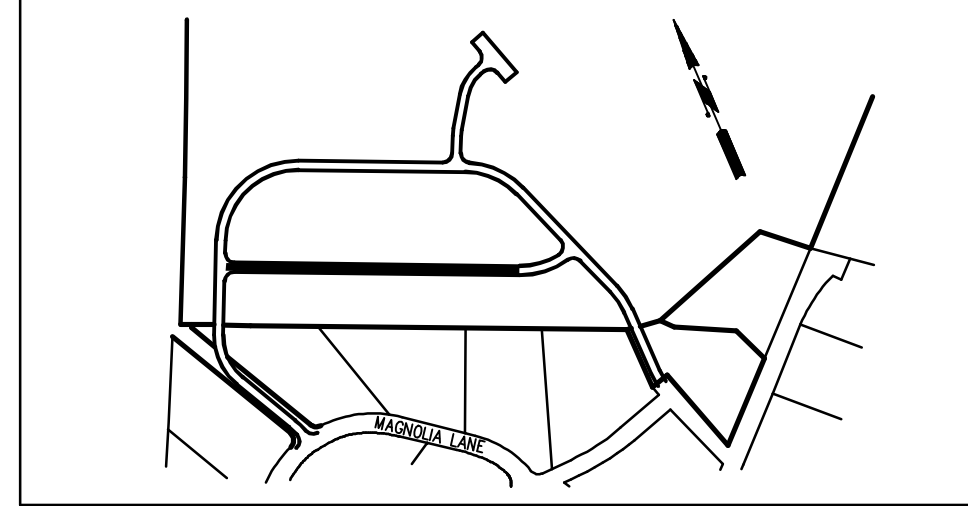
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| REVISIONS: | | DATE: | |
| ROAD CROSS SECTIONS X3 | | | |
| PLAN FOR: RESIDENTIAL DEVELOPMENT TOWER PLACE GREENLAND, NH | | | |
| DATE: | NOV 2021 | SCALE: | 1" = 10' |
| PROJ. NO: | NH-1360 | SHT NO. | 28 |



PREPARED FOR:
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, NH 03885

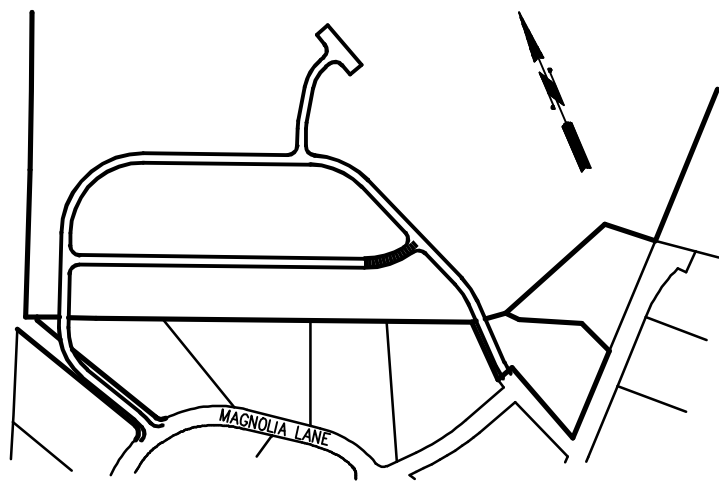
BA
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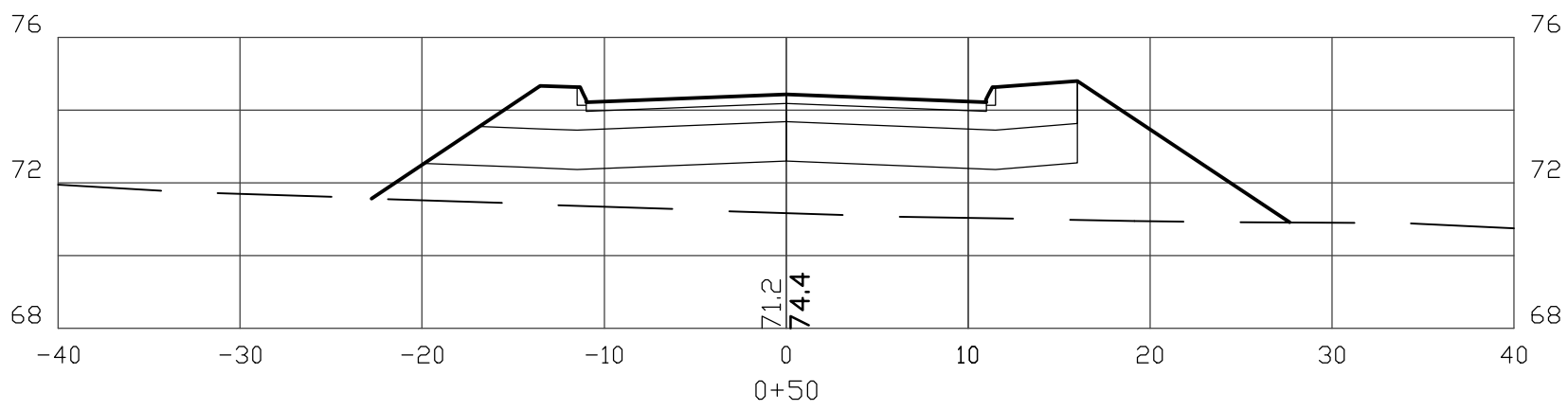
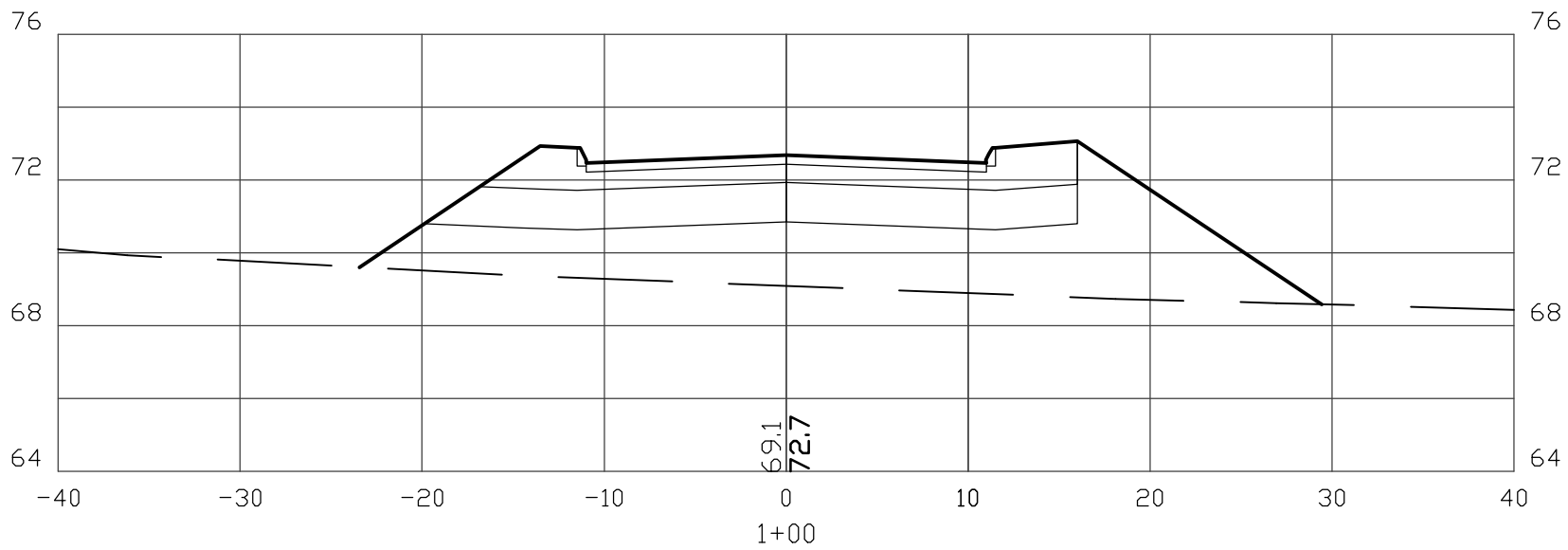
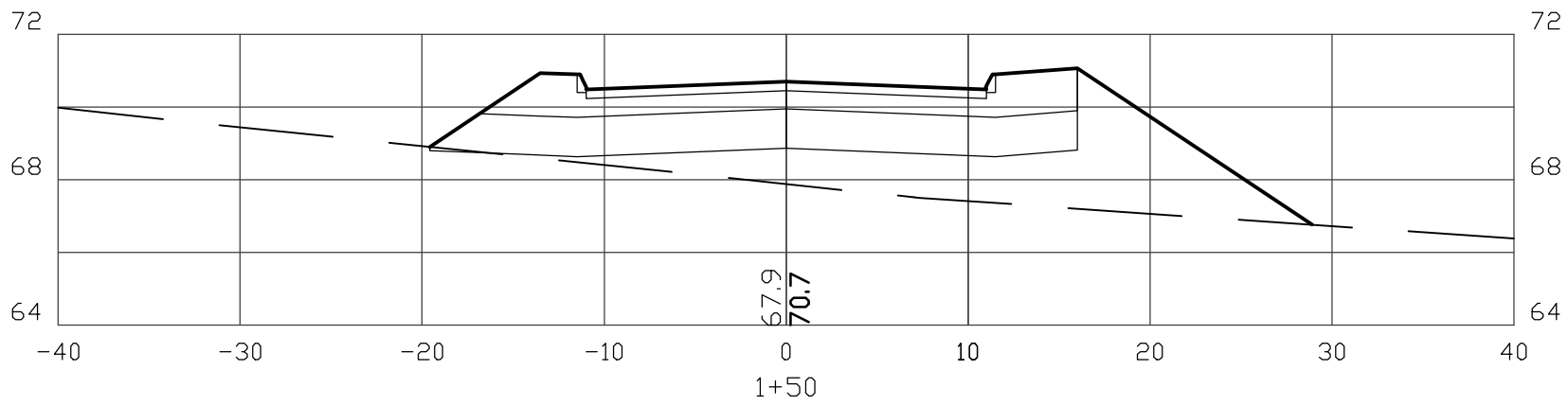
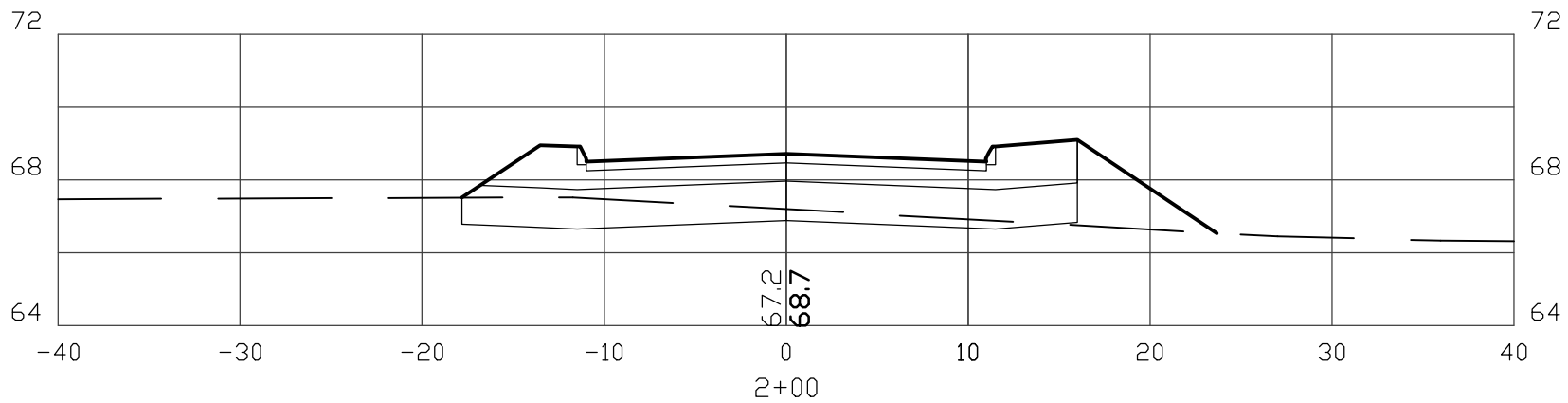
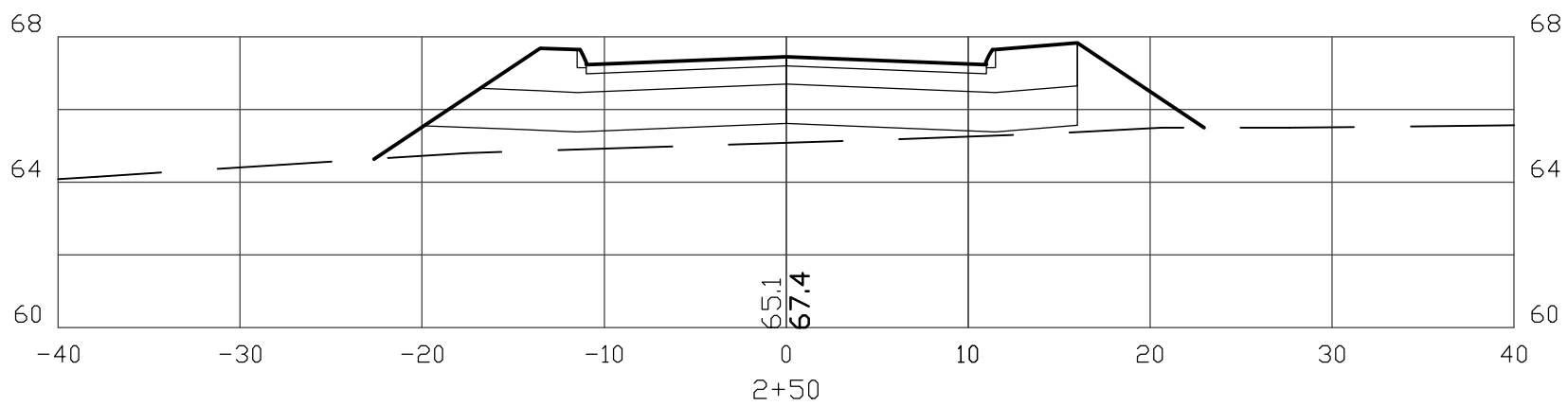
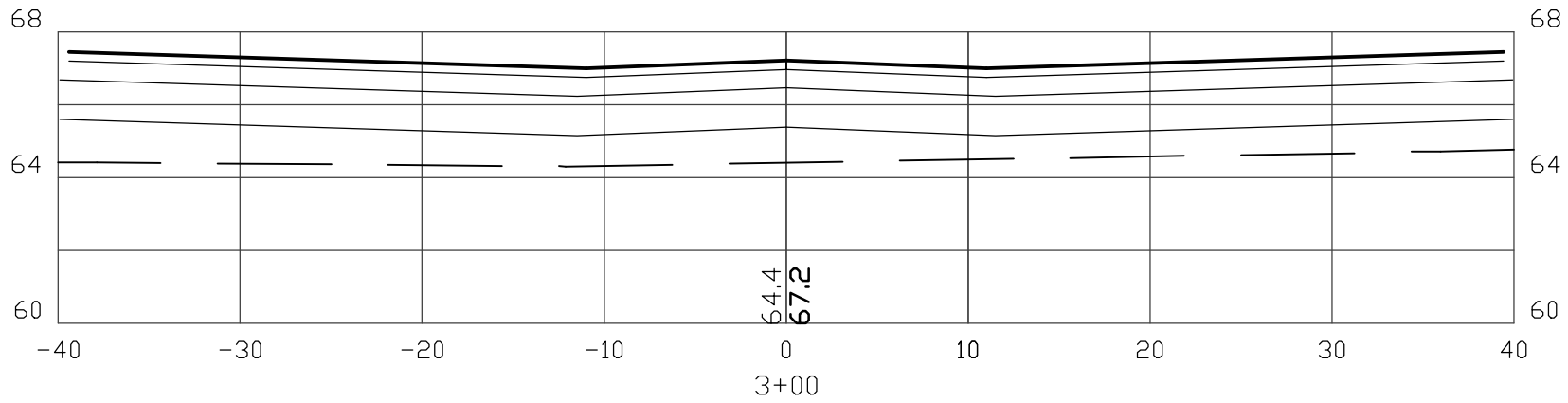
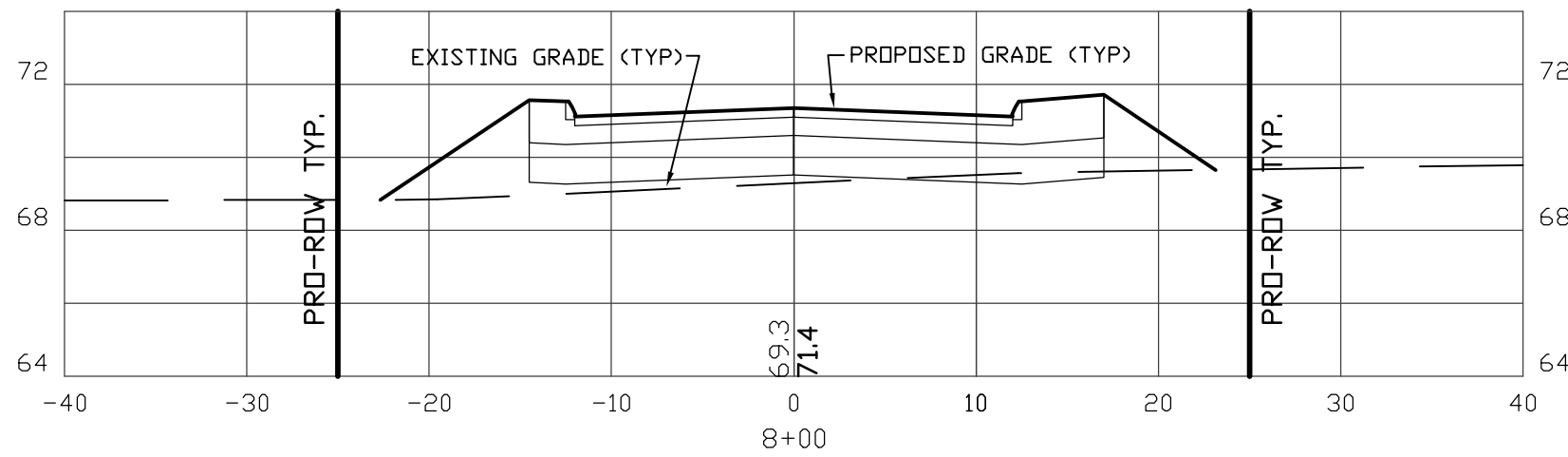
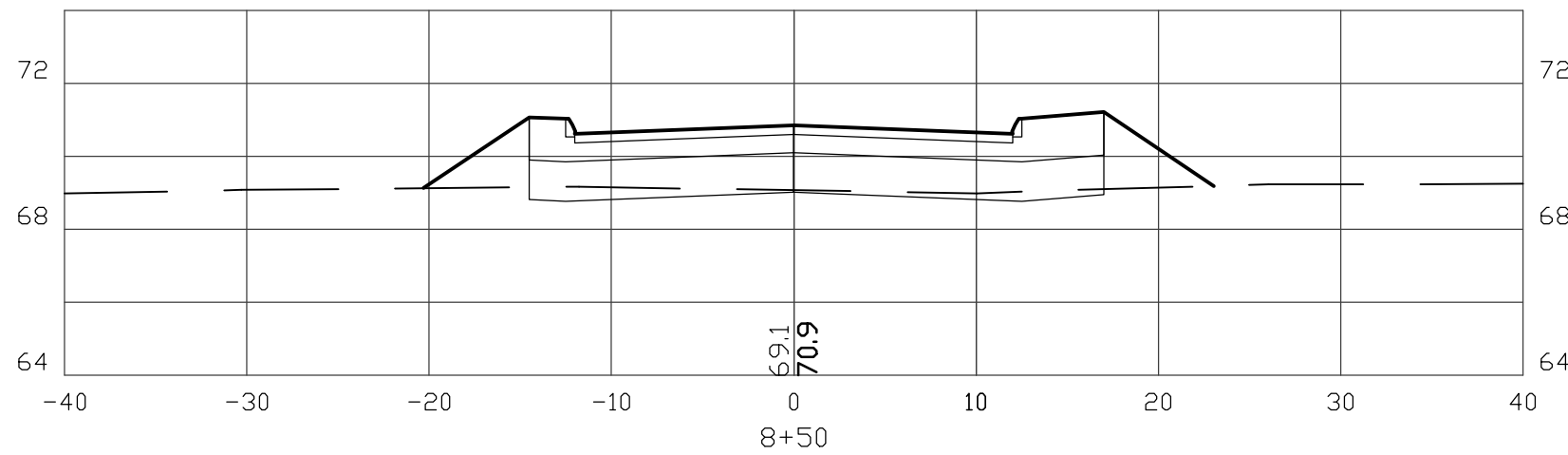
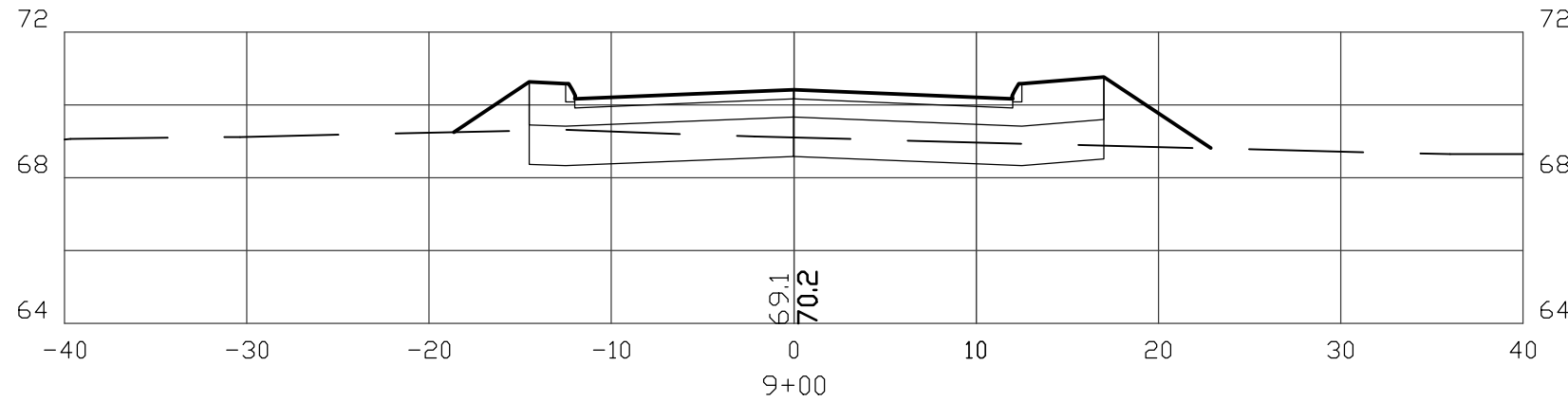


CONSTRUCTION LOCUS MAP
1"=500'

| | | | |
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| REVISIONS: | | DATE: | |
| ROAD CROSS SECTIONS X4 | | PLAN FOR: RESIDENTIAL DEVELOPMENT TOWER PLACE GREENLAND, NH | |
| DATE: | NOV 2021 | SCALE: | 1" = 10' |
| PROJ. NO: | NH-1360 | SHT NO. | 29 |



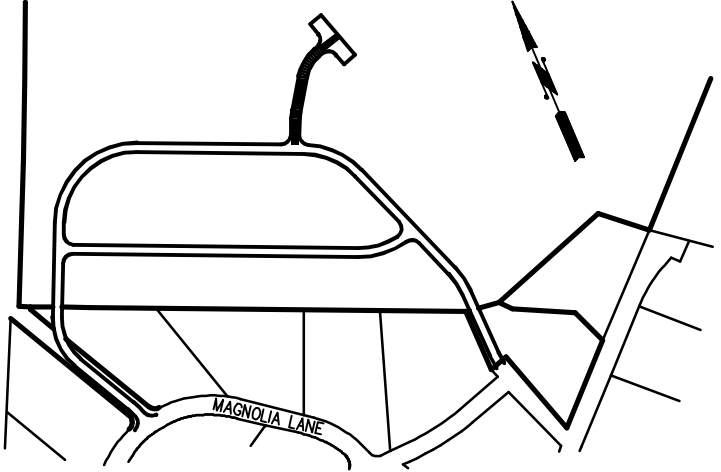
CONSTRUCTION LOCUS MAP
1"=500'



PREPARED FOR:
JOSEPH FALZONE
7B EMERY LANE
STRATHAM, NH 03885



70 PORTSMOUTH AVE,
THIRD FLOOR, SUITE 2
STRATHAM, N.H. 03885
PHONE: 603-583-4860,
FAX: 603-583-4863



CONSTRUCTION LOCUS MAP
1"=500'

REVISIONS: _____ DATE: _____

ROAD CROSS SECTIONS X5

PLAN FOR:
RESIDENTIAL DEVELOPMENT
TOWER PLACE
GREENLAND, NH

DATE: NOV 2021 SCALE: 1" = 10'
PROJ. NO: NH-1360 SHT NO. 30

NITRATE SETBACKS

PER NH-DES ENV-WQ 1008.05
FOR DESIGN FLOWS OF 6001-7000 GPD
MINIMUM DISTANCES:
300' HYDRAULICALLY DOWN-GRADIENT
150' HYDRAULICALLY SIDE-GRADIENT
75' HYDRAULICALLY UP-GRADIENT
PROPOSED DESIGN FLOW = 6,345 GPD

| UNIT NO. | SILL EL.* | SLAB EL.* | ZONE |
|-----------|-----------|-----------|------|
| 1 | 73.0 | 65.5 | 10 |
| 2 | 72.5 | 65.0 | 10 |
| 3 | 73.0 | 65.5 | 8 |
| 4 | 76.0 | 68.5 | 8 |
| 5 | 82.5 | 75.0 | 7 |
| 6 | 86.0 | 78.5 | 7 |
| 7 | 86.0 | 78.5 | 7 |
| 8 | 86.0 | 78.5 | 6 |
| 9 | 86.0 | 78.5 | 6 |
| 10 | 86.0 | 78.5 | 6 |
| 11 | 86.0 | 78.5 | 6 |
| 12 | 83.0 | 76.5 | 6 |
| 13 | 83.0 | 76.5 | 6 |
| 14 | 83.0 | 75.5 | 6 |
| 15 | 82.0 | 74.5 | 6 |
| 16 | 78.5 | 71.0 | 7 |
| 17 | 78.5 | 71.0 | 7 |
| 18 | 80.0 | 72.5 | 7 |
| 19 | 80.0 | 72.5 | 9 |
| 20 | 78.0 | 70.5 | 9 |
| 21 | 72.0 | 64.5 | 9 |
| 22 | 78.0 | 70.5 | 9 |
| 23 | 78.0 | 70.5 | 9 |
| 24 | 78.0 | 70.5 | 4 |
| 25 | 78.0 | 70.5 | 4 |
| 26 | 78.0 | 70.5 | 4 |
| 27 | 79.0 | 71.5 | 5 |
| 28 | 78.0 | 70.5 | 5 |
| 29 | 79.0 | 71.5 | 5 |
| 30 | 80.0 | 72.5 | 5 |
| 31 | 78.0 | 71.0 | 5 |
| 32 | 78.0 | 70.5 | 5 |
| 33 | 77.0 | 69.5 | 5 |
| 34 | 77.0 | 69.5 | 4 |
| 35 | 78.5 | 69.0 | 4 |
| 36 | 78.0 | 68.5 | 4 |
| 37 | 74.0 | 66.5 | 3 |
| 38 | 70.5 | 63.0 | 2 |
| 39 | 66.0 | 58.5 | 2 |
| 40 | 67.0 | 59.5 | 3 |
| 41 | 71.0 | 63.5 | 3 |
| 42 | 71.0 | 63.5 | 10** |
| 43 | 70.0 | 62.5 | 10 |
| 44 | 68.5 | 61.0 | 10 |
| 45 | 69.5 | 62.0 | 10 |
| 46 | 68.5 | 61.0 | 10 |
| 47 | 67.0 | 59.5 | 10 |
| CLUBHOUSE | 66.0 | 58.5 | 1 |

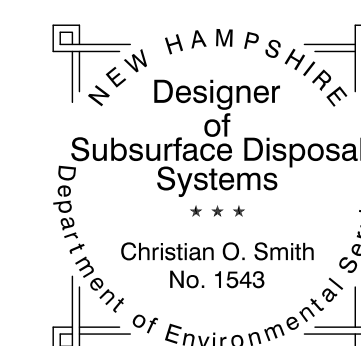
*ELEVATIONS SHOWN ARE BASED ON PROPOSED ELEVATIONS AND MAY VARY DUE TO CHANGES DURING CONSTRUCTION. CONTRACTOR TO WORK WITH DESIGNER TO VERIFY MINIMUM REQUIREMENTS ARE MET FOR E-ONE PRESSURE SEWER.
**UNIT 42 TO BE GRAVITY SEWER DIRECT TO NEAREST MANHOLE. IF MIN. SLOPE CANNOT BE MAINTAINED E-ONE TO BE USED.

NOTES:

1. ZONES 1 & 10 ARE INTENDED TO UTILIZE E-ONE PRESSURE SEWER SYSTEMS LOCATED INSIDE EACH UNIT. SEE DETAILS ON SHEET 5.
2. ZONES 2-9 ARE INTENDED TO BE GRAVITY SEWERS. MINIMUM SLOPE REQUIREMENTS MUST BE MAINTAINED.
3. MANHOLES TO BE CONSTRUCTED IN ACCORDANCE WITH ENV-WQ 700. SEE DETAILS ON SHEET 4.
4. MANHOLES TO BE CONNECTED USING 8" SDR 35 PVC.
5. ALL WATER LINES CROSSING SEWER LINES AND/OR FORCE MAINS SHALL BE A MINIMUM OF 18" ABOVE, OR AS SHOWN IN DETAIL FOR SUCH CROSSINGS ON SHEET 2.

| OVERALL SYSTEM DIAGRAM | |
|--|---------------|
| PLAN FOR: RESIDENTIAL DEVELOPMENT TAX MAP R-8, LOTS 16 & 17 AND TAX MAP R-7, LOT 3 TOWER PLACE GREENLAND, NH | |
| DATE: NOVEMBER 2021 | SCALE: 1"=80' |
| PROJ. NO: NH-1360 | SHEET NO. 33 |

DESIGNER STAMP



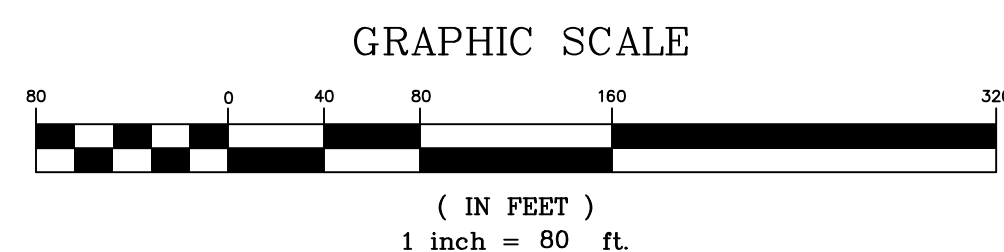
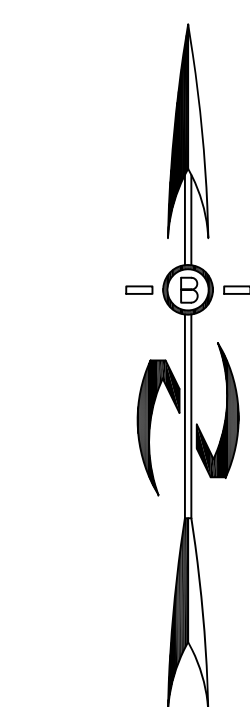
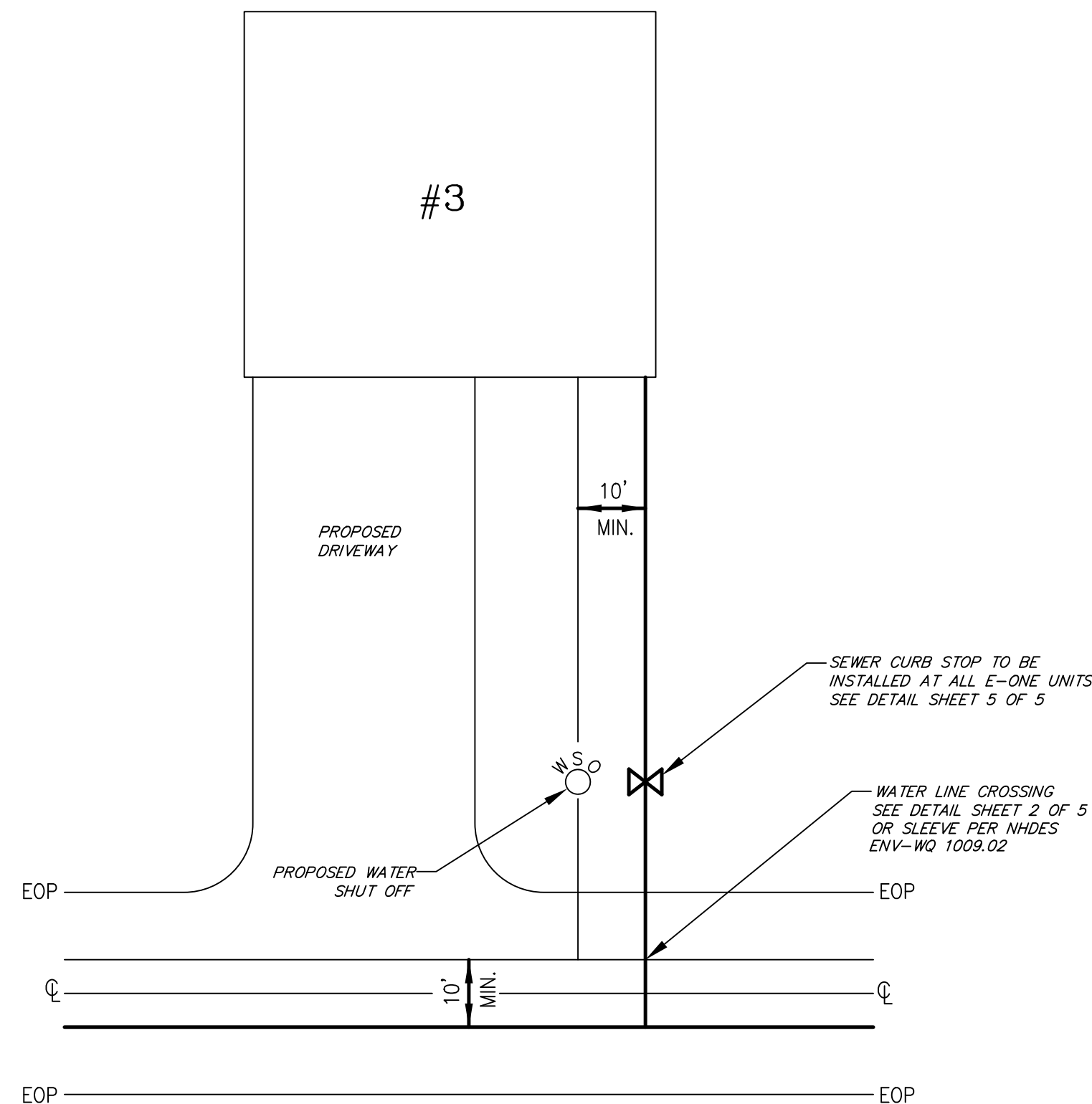
LEGEND

NTS

- FLUSHING CONNECTION
- INLINE FLUSHING CONNECTION
- BRANCH DIVIDER & FLOW INDICATOR
- ZONE NUMBER
- DISCHARGE

TYPICAL UNIT DETAIL

NTS



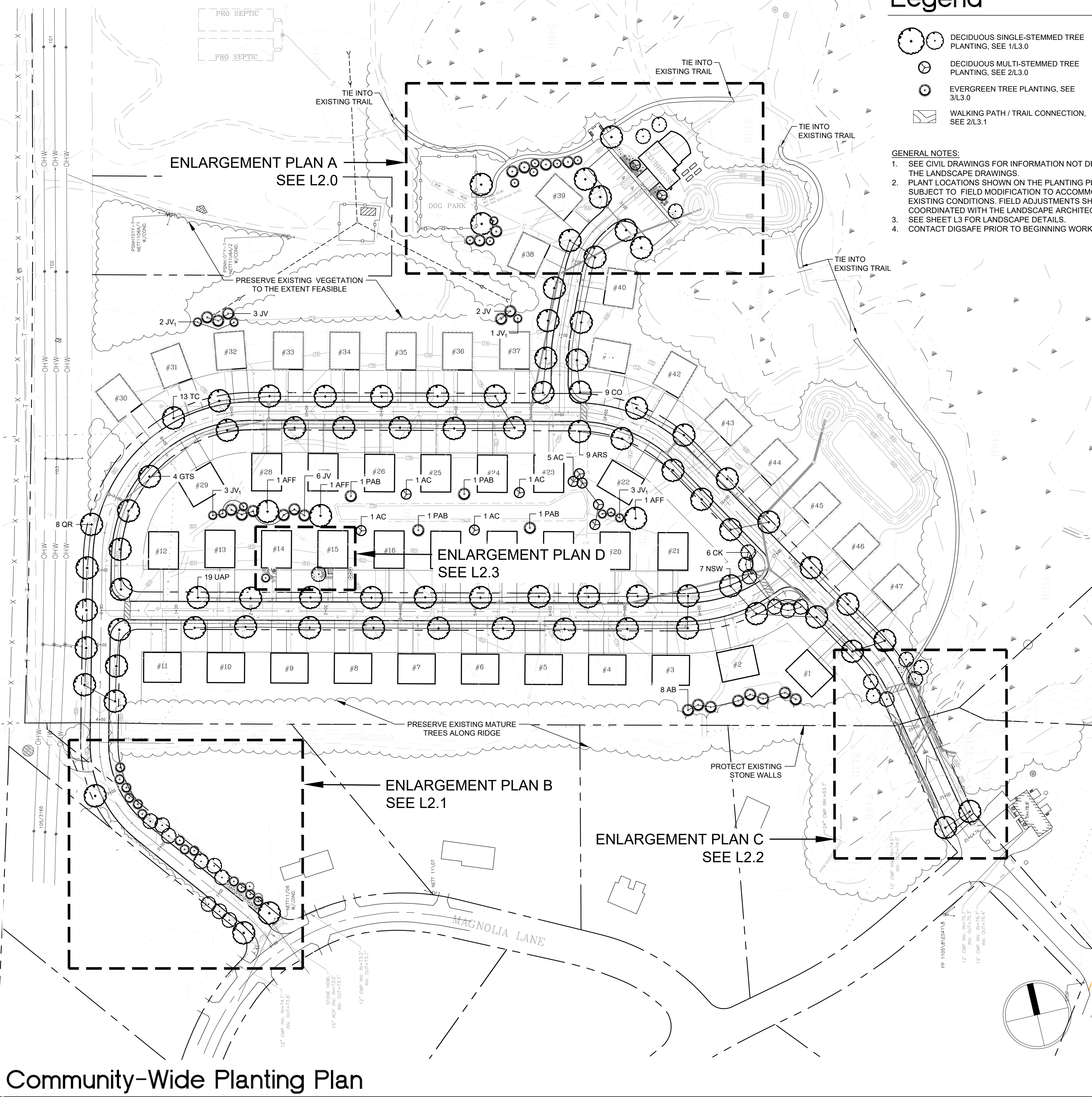
PLANTING NOTES:

- PLEASE REVIEW AND BECOME FULLY ACQUAINTED WITH THESE NOTES, CONSTRUCTION DETAILS, AND THE PLANTING PLAN.
- THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING AND NEW UTILITY LINE LOCATIONS PRIOR TO PLANTING, AND SHALL REPORT ANY CONFLICT TO THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN SOCIETY OF NURSERY MEN, INC. LATEST EDITION.
- THE CONTRACTOR SHALL STAKE THE LOCATION OF ALL THE PROPOSED PLANT MATERIAL FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. NO PLANTS SHALL BE PLANTED BEFORE THE ACCEPTANCE OF ROUGH GRADING. THE BASE OF THE FLARE OF THE TREE TRUNK SHALL BE EXPOSED, IF NECESSARY, AND PLACED 2" ABOVE FINISH GRADE.
- ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES WILL BE PLANTS WITH EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER COLOR, LEAF COLOR, FRUIT COLOR, AND TIME OF BLOOM, AS APPROVED BY THE LANDSCAPE ARCHITECT.
- EXISTING LOAM: STOCKPILING OF EXISTING LOAM IS SPECIFIED ELSEWHERE. REMOVE CLAY LUMPS, BRUSH, LITTER, ROOTS, STONES 1" AND LARGER, AND OTHER FOREIGN MATERIALS.
- ADDITIONAL LOAM: IF STOCKPILED LOAM QUANTITY IS INSUFFICIENT, PROVIDE LOAM, WHICH IS A "FINE SANDY LOAM", OR A "SANDY LOAM" DETERMINED BY MECHANICAL ANALYSIS AND BASED ON THE "U.S.D.A. CLASSIFICATION SYSTEM." IT SHALL BE OF UNIFORM COMPOSITION, WITHOUT ADMIXTURE OF SUBSOIL. LOAM SHALL HAVE AN ACIDITY RANGE OF PH 5.8 TO PH 7.0 AND SHALL CONTAIN NOT LESS THAN 4% NOR MORE THAN 10% ORGANIC MATTER AS DETERMINED BY THE LOSS OF IGNITION OF OVEN-DRIED SAMPLES. PROVIDE LOAM WHICH IS FERTILE, FRIABLE, NATURAL LOAM FREE FROM SUBSOIL, CLAY LUMPS, BRUSH, LITTER, ROOTS, STONES 1" AND LARGER, AND ANY FOREIGN MATERIALS.
- PINE MULCH: PROVIDE PARTIALLY DECOMPOSED MINIMUM SIX MONTH AGED FINELY SHREDDED PINE BARK MULCH WITH DARK BROWN COLOR AND FREE OF WEEDS, EXCESSIVE FINE PARTICLES, STRINGY MATERIAL, AND CHUNKS OF WOOD THICKER THAN 1/2". PROVIDE BARK MULCH APPROVED BY THE LANDSCAPE ARCHITECT. APPLY TACKIFIED MULCH TO ALL SEEDED AREAS.
- ALL PLANTS SHALL BE PLUM VERTICALLY AFTER SETTLING.
- ALL PLANT MATERIAL SHALL BE MULCHED AFTER PLANTING.
- LESS OTHERWISE INDICATED, DICTATED BY CONDITIONS AT THE SITE, AND DIRECTED BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE, BACKFILL SHALL CONSIST OF UNAMENDED SOIL EXCAVATED FROM THE PLANTING PIT. BACKFILL IN 3-4" LAYERS AND CONSOLIDATE EACH LAYER WITH WATER TO ELIMINATE VOIDS AND ARE POCKETS BEFORE PLACING SUBSEQUENT LAYERS. CONTINUE UNTIL BACKFILL HAS REACHED FINISHED GRADE. WATER THOROUGHLY WHEN EXCAVATION IS BACK FILLED AND CONTINUE WATERING UNTIL SATURATED. IF EXISTING UNAMENDED SOIL IS NOT ACCEPTED, PROVIDE PLANTING SOIL MIXTURE CONSISTING OF 7 PARTS LOAM AND 1 PART HUMUS. MIX QUANTITY OF FERTILIZER AND SOIL AMENDMENTS AS RECOMMENDED BY SOIL ANALYSIS AND APPROVED BY THE LANDSCAPE ARCHITECT.
- WATERING: FLOOD ALL PLANTS WITH WATER TWICE WITHIN THE FIRST 24 HOURS AFTER PLANTING.
- LOAMING: LOOSEN SUBGRADE AND EXISTING LOAM AREAS BY DISCING OR ROTOTILLING TO MINIMUM DEPTH OF 6". REMOVE STONES GREATER THAN 2" AND ALL RUBBISH AND DEBRIS. PLACE LOAM IN TWO EQUAL LIFTS MIXING FIRST APPLICATION INTO LOOSENED SUBGRADE THEN PLACE SECOND LIFT TO BRING LOAM AFTER SETTLING AND COMPACTING TO THE LINES AND GRADES SHOWN IN THE CONTRACT DOCUMENTS, 6" DEEP MINIMUM. DO NOT HANDLE LOAM OR SUBSOIL IF IT IS WET OR FROZEN.
- AFTER LOAM HAS BEEN SPREAD, IT SHALL BE CAREFULLY PREPARED BY SCARIFYING AND HAND RAKING. ALL LARGE STIFF CLOUDS, LUMPS, BRUSH, ROOTS, STUMPS, LITTER AND FOREIGN MATTER, AND STONES OVER ONE INCH IN DIAMETER SHALL BE REMOVED FROM THE LOAM. LOAM SHALL ALSO BE FREE OF SMALLER STONES IN EXCESSIVE QUANTITIES AS DETERMINED BY THE LANDSCAPE ARCHITECT.
- FINE GRADING: SET SUFFICIENT GRADE STAKES FOR CHECKING THE FINISHED GRADES. STAKES MUST BE SET AT THE BOTTOM AND TOP OF SLOPES. GRADES SHALL BE ESTABLISHED THAT ARE ACCURATE TO 1/10TH OF A FOOT EITHER WAY. CONNECT CONTOURS AND SPOT ELEVATIONS WITH AN EVEN SLOPE. ALL GRADING WILL INSURE DRAINAGE AWAY FROM STRUCTURES.
- FINE GRADE LAWN AREAS TO SMOOTH, FREE DRAINING, EVEN SURFACES WITH FINE TEXTURE. ROLL, RAKE AND DRAW LAWN AREAS TO FLATTEN RIDGES AND FILL DEPRESSIONS, EXCEPT AT SELECT AREAS SHOW ON THE DRAWINGS. CONTROL MOISTURE CONTENT TO MAINTAIN OPTIMUM CONDITIONS, BUT DO NOT CREATE A MUDDY CONDITION.
- ROLLING - TYPICAL: ROLL THE ENTIRE AREA WITH A HAND ROLLER WEIGHTING NOT MORE THAN 100 POUNDS. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT OF ROLLING SHALL BE FILLED WITH ADDITIONAL LOAM AND THE SURFACE SHALL BE REGARDED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE OR TO THE SHAPES AND CONFIGURATIONS AS SHOWN ON THE DETAILS.
- THE SILT FENCE SHALL BE LIMIT OF SEEDING UNLESS OTHERWISE INDICATED ON THE DRAWINGS. ALL AREAS DISTURBED OUTSIDE THE LIMIT OF WORK SHALL BE SEEDED AS INDICATED ON THE DRAWINGS.
- IN CASE OF DISCREPANCIES BETWEEN THE QUANTITIES SHOWN ON THE PLANT SCHEDULE AND THE QUANTITIES SHOWN ON THE PLANTING PLAN, THE QUANTITIES ON THE PLANTING PLAN SHALL BE PROVIDED BY THE CONTRACTOR.

Plant Schedule-Community-Wide Planting Plan

| DECIDUOUS TREES | | | | | |
|-----------------|-------|------------------------------|------------------------------|----------------|--------------------|
| QTY. | ABRV. | SCIENTIFIC NAME | COMMON NAME | SIZE | REMARKS |
| 9 | ARS | ACER RUBRUM 'RED SUNSET' | RED SUNSET RED MAPLE | 2 1/2"-3" CAL. | B&B |
| 7 | AFF | ACER SACCHARUM 'FALL FIESTA' | FALL FIESTA SUGAR MAPLE | 2 1/2"-3" CAL. | B&B |
| 9 | AC | AMELANCHIER CANADENSIS | SERVICEBERRY | 2 1/2"-3" CAL. | B&B |
| 9 | CO | CARYA OVATA | SHAGBARK HICKORY | 2 1/2"-3" CAL. | B&B |
| 6 | CK | CORNUS KOUSA | KOUSA DOGWOOD | 8'-10' HT. | B&B, MULTI STEMMED |
| 4 | GTS | GLEDITSIA T.J. 'SKYLINE' | SKYLINE HONEYLOCUST | 2 1/2"-3" CAL. | B&B |
| 7 | NSW | NYSSA SYLVATICA 'WILDFIRE' | WILDFIRE TUPELO | 2 1/2"-3" CAL. | B&B |
| 8 | QR | QUERCUS RUBRA | RED OAK | 2 1/2"-3" CAL. | B&B |
| 13 | TC | TILIA CORDATA 'GREENSPIRE' | GREENSPIRE LITTLELEAF LINDEN | 2 1/2"-3" CAL. | B&B |
| 18 | UAL | ULMUS AMERICANA 'LIBERTY' | LIBERTY AMERICAN ELM | 2 1/2"-3" CAL. | B&B |
| 90 | | | | | |

| EVERGREEN TREES | | | | | |
|-----------------|-----------------|----------------------|-------------------|-----------|-----|
| 8 | AB | ABIES BALSAMEA | BALSAM FIR | 6'-7' HT. | B&B |
| 11 | JV | JUNIPERUS VIRGINIANA | EASTERN RED CEDAR | 6'-7' HT. | B&B |
| 9 | JV ₁ | JUNIPERUS VIRGINIANA | EASTERN RED CEDAR | 5'-6' HT. | B&B |
| 4 | PAB | PICEA ABIES | NORWAY SPRUCE | 7'-8' HT. | B&B |
| 32 | | | | | |



Legend

- DECIDUOUS SINGLE-STEMMED TREE PLANTING, SEE 1/L3.0
- DECIDUOUS MULTI-STEMMED TREE PLANTING, SEE 2/L3.0
- EVERGREEN TREE PLANTING, SEE 3/L3.0
- WALKING PATH / TRAIL CONNECTION, SEE 2/L3.1

- GENERAL NOTES:
- SEE CIVIL DRAWINGS FOR INFORMATION NOT DEPICTED ON THE LANDSCAPE DRAWINGS.
 - PLANT LOCATIONS SHOWN ON THE PLANTING PLAN ARE SUBJECT TO FIELD MODIFICATION TO ACCOMMODATE EXISTING CONDITIONS. FIELD ADJUSTMENTS SHALL BE COORDINATED WITH THE LANDSCAPE ARCHITECT.
 - SEE SHEET L3 FOR LANDSCAPE DETAILS.
 - CONTACT DIGSAFE PRIOR TO BEGINNING WORK.



TOWER PLACE RESIDENTIAL DEVELOPMENT

GREENLAND, NH 03840

JOSEPH FALZONE
7B EMERY LANE, STRATHAM, NH 03885

SHEET TITLE

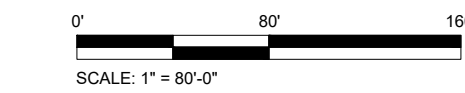
LANDSCAPE PLAN

REVISION LOG

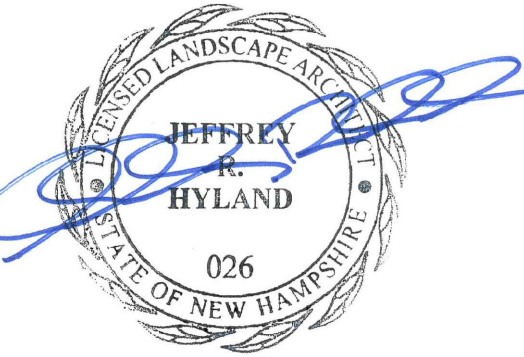
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| REV# | DATE | DESCRIPTION |
|-------------|----------------------|-------------|
| PROJECT NO. | 21048.0 | |
| DESIGN BY | J. HYLAND / K.OSGOOD | |
| DRAWN BY | K.OSGOOD | |
| CHECKED BY | J. HYLAND | |
| DATE | NOVEMBER 10, 2021 | |

SCALE

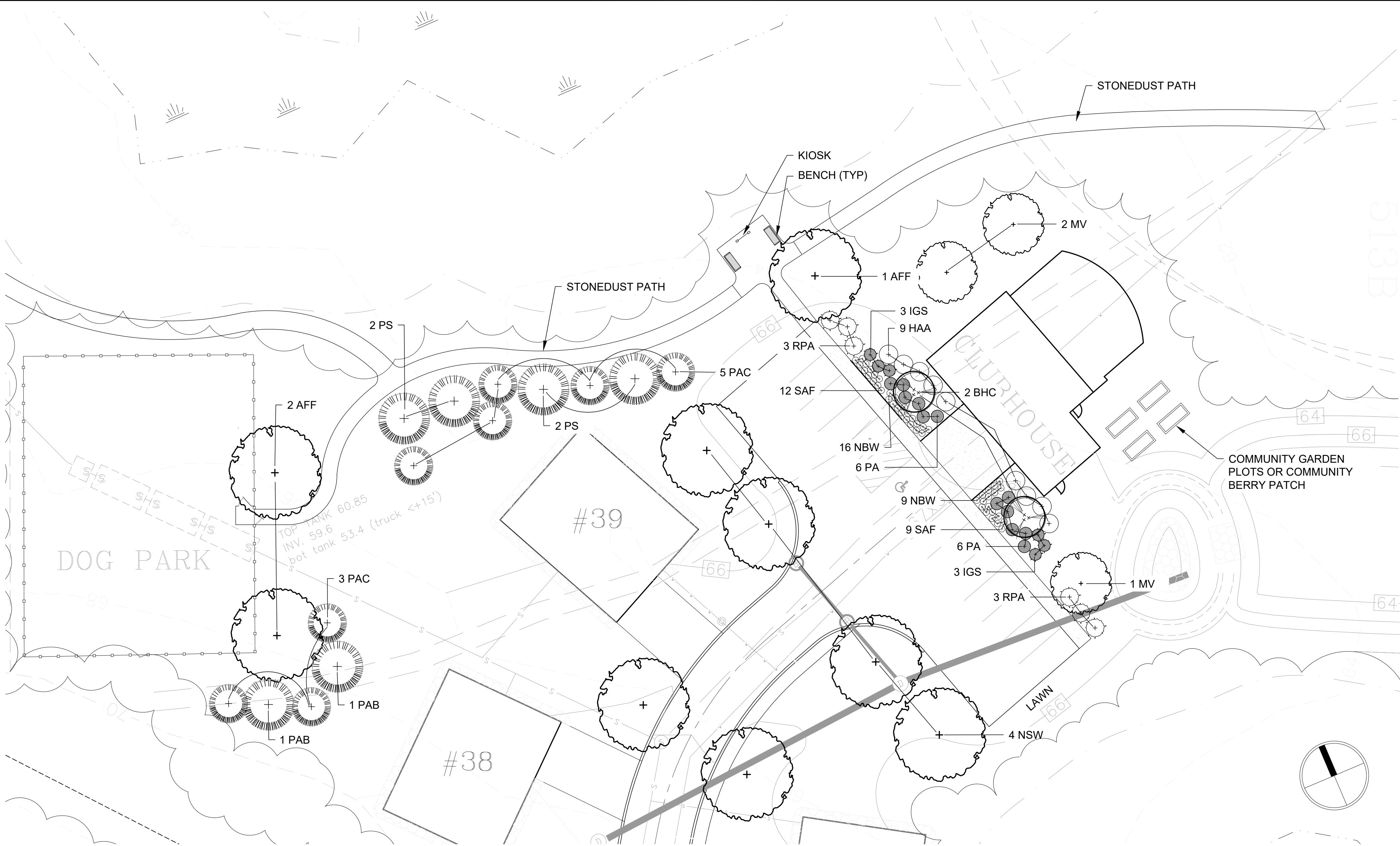


SEAL



L1.0

\\ironwood\shared\working\2021\03885\TOWER PLACE\DWG\LANDSCAPE\LANDSCAPE PLAN A.dwg - 11/11/2021 1:50:00 PM



Legend

DECIDUOUS SINGLE-STEMMED TREE PLANTING, SEE 1/L3.0

DECIDUOUS MULTI-STEMMED TREE PLANTING, SEE 2/L3.0

EVERGREEN TREE PLANTING, SEE 3/L3.0

SHRUB PLANTING, SEE 4/L3.0

PERENNIAL / ORNAMENTAL GRASS PLANTING, SEE 5/L3.0

LOAM AND LAWN SEED MIX, SEE 7/L3.0

GENERAL NOTES:

- SEE CIVIL DRAWINGS FOR INFORMATION NOT DEPICTED ON THE LANDSCAPE DRAWINGS.
- PLANT LOCATIONS SHOWN ON THE PLANTING PLAN ARE SUBJECT TO FIELD MODIFICATION TO ACCOMMODATE EXISTING CONDITIONS. FIELD ADJUSTMENTS SHALL BE COORDINATED WITH THE LANDSCAPE ARCHITECT.
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- CONTACT DIGSAFE PRIOR TO BEGINNING WORK.

TOWER PLACE RESIDENTIAL DEVELOPMENT

GREENLAND, NH 03840

JOSEPH FALZONE

7B EMERY LANE, STRATHAM, NH 03885

SHEET TITLE

LANDSCAPE PLAN

REVISION LOG

| REV# | DATE | DESCRIPTION |
|------|------|-------------|
| 1 | | |
| 2 | | |
| 3 | | |
| 4 | | |

DESIGN BY

J. HYLAND / K.OSGOOD

DRAWN BY

K.OSGOOD

CHECKED BY

J. HYLAND

DATE

NOVEMBER 10, 2021

SCALE

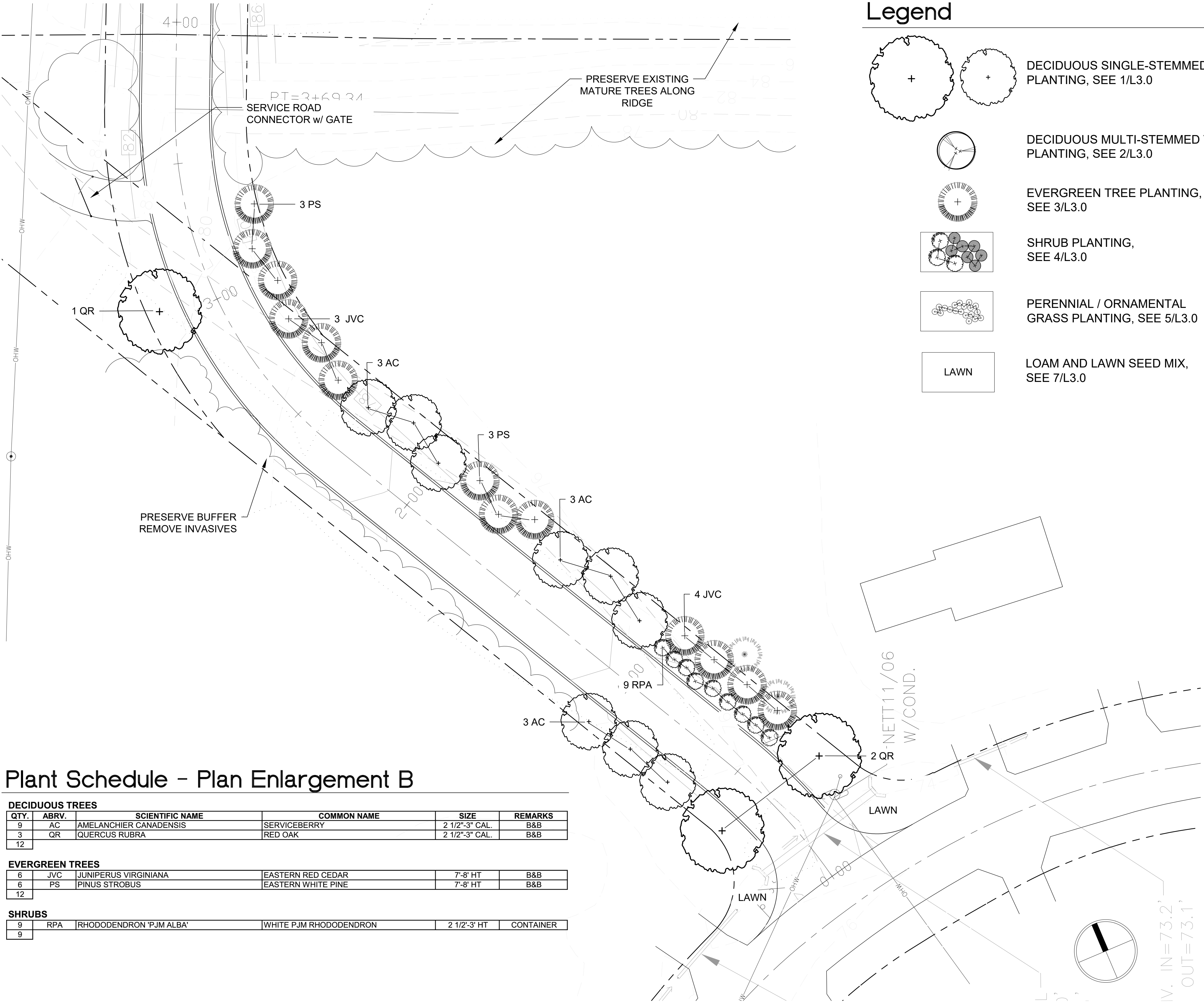
SEAL

Plan Enlargement Plan A

Plant Schedule - Plan Enlargement Plan A

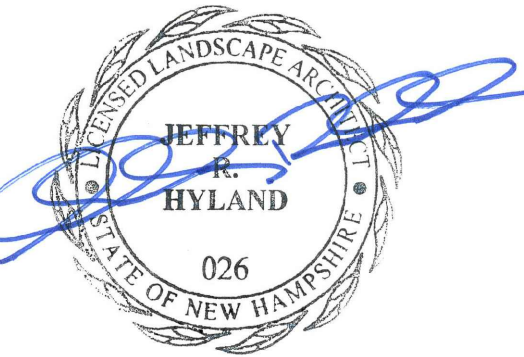
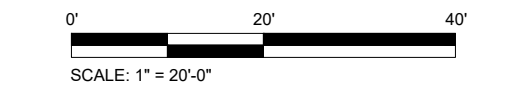
| DECIDUOUS TREES | | | | | |
|-------------------------------------|-------|----------------------------------|---------------------------|----------------|--------------------|
| QTY. | ABRV. | SCIENTIFIC NAME | COMMON NAME | SIZE | REMARKS |
| 3 | AFF | ACER SACCHARUM 'FALL FIESTA' | FALL FIESTA SUGAR MAPLE | 2 1/2"-3" CAL. | B&B |
| 2 | BHC | BETULA NIGRA 'HERITAGE CLUMP' | RIVER BIRCH | 10'-12' HT | B&B, MULTI STEMMED |
| 4 | NSW | NYSSA SYLVATICA 'WILDFIRE' | WILDFIRE TUPELO | 2 1/2"-3" CAL. | B&B |
| 3 | MV | MALUS SPP. | APPLE VARIETIES | 2 1/2"-3" CAL. | B&B |
| 12 | | | | | |
| EVERGREEN TREES | | | | | |
| 3 | PAB | PICEA ABIES | NORWAY SPRUCE | 7'-8' HT | B&B |
| 7 | PAC | PICEA ABIES COMPACTA | COMPACT NORWAY SPRUCE | 4'-5' HT | B&B |
| 3 | PS | PINUS STROBUS | NORTHEASTERN WHITE PINE | 7'-8' HT | B&B |
| 13 | | | | | |
| SHRUBS | | | | | |
| 9 | HAA | HYDRANGEA ARBORESCENS 'ANNABELL' | ANNABELLE HYDRANGEA | 18"-24" HT | CONTAINER |
| 6 | IGS | ILEX GLABRA 'SHAMROCK' | COMPACT SHAMROCK INKBERRY | 2'-2 1/2' HT | CONTAINER |
| 12 | PA | POTENTILLA ALBA | WHITE POTENTILLA | 18"-24" HT | CONTAINER |
| 6 | RPA | RHODODENDRON 'PJM ALBA' | WHITE PJM RHODODENDRON | 2 1/2'-3' HT | CONTAINER |
| 33 | | | | | |
| GROUNDCOVERS / PERENNIALS / GRASSES | | | | | |
| 25 | NBW | NEPETA BLUE WONDER | BLUE WONDER CATMINT | #1 | CONTAINER |
| 21 | SAF | SEDUM SPECTABILE 'AUTUMN FIRE' | AUTUMN FIRE STONECROP | #1 | CONTAINER |
| 46 | | | | | |

- GENERAL NOTES:
1. SEE CIVIL DRAWINGS FOR INFORMATION NOT DEPICTED ON THE LANDSCAPE DRAWINGS.
 2. PLANT LOCATIONS SHOWN ON THE PLANTING PLAN ARE SUBJECT TO FIELD MODIFICATION TO ACCOMMODATE EXISTING CONDITIONS. FIELD ADJUSTMENTS SHALL BE COORDINATED WITH THE LANDSCAPE ARCHITECT.
 3. SEE SHEET L3 FOR LANDSCAPE DETAILS.
 4. CONTACT DIGSAFE PRIOR TO BEGINNING WORK.



| | | |
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| REV# | DATE | DESCRIPTION |
| 1 | | |
| 2 | | |
| 3 | | |
| 4 | | |

| | |
|------------|-----------------------|
| DESIGN BY | J. HYLAND / K. OSGOOD |
| DRAWN BY | K. OSGOOD |
| CHECKED BY | J. HYLAND |
| DATE | NOVEMBER 10, 2021 |
| SCALE | |




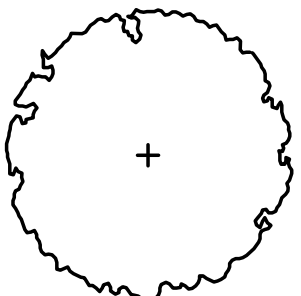
- GENERAL NOTES:
1. SEE CIVIL DRAWINGS FOR INFORMATION NOT DEPICTED ON THE LANDSCAPE DRAWINGS.
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Plant Schedule - Plan Enlargement C


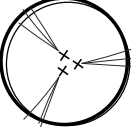
| DECIDUOUS TREES | | | | | |
|-------------------------------------|-------|----------------------------------|----------------------|----------------|-----------|
| QTY. | ABRV. | SCIENTIFIC NAME | COMMON NAME | SIZE | REMARKS |
| 6 | CVW | CRATAEGUS VIRIDIS 'WINTER KING' | WINTER KING HAWTHORN | 2 1/2"-3" CAL. | B&B |
| 2 | NSW | NYSSA SYLVATICA 'WILDFIRE' | WILDFIRE TUPELO | 2 1/2"-3" CAL. | B&B |
| 8 | | | | | |
| SHRUBS | | | | | |
| 6 | CP | CORNUS PUMILA | COMPACT DOGWOOD | 2'-2 1/2' HT | CONTAINER |
| 6 | HAA | HYDRANGEA ARBORESCENS 'ANNABELL' | ANNABELLE HYDRANGEA | 2'-2 1/2' HT | CONTAINER |
| 12 | | | | | |
| GROUNDCOVERS / PERENNIALS / GRASSES | | | | | |
| 12 | SMN | SALVIA MAY NIGHT | MAY NIGHT SAGE | #1 | CONTAINER |
| 12 | | | | | |

Plan Enlargement C

Legend

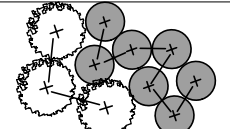


DECIDUOUS SINGLE-STEMMED TREE PLANTING, SEE 1/L3.0

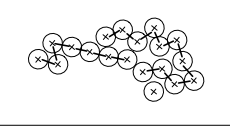


DECIDUOUS MULTI-STEMMED TREE PLANTING, SEE 2/L3.0


EVERGREEN TREE PLANTING, SEE 3/L3.0



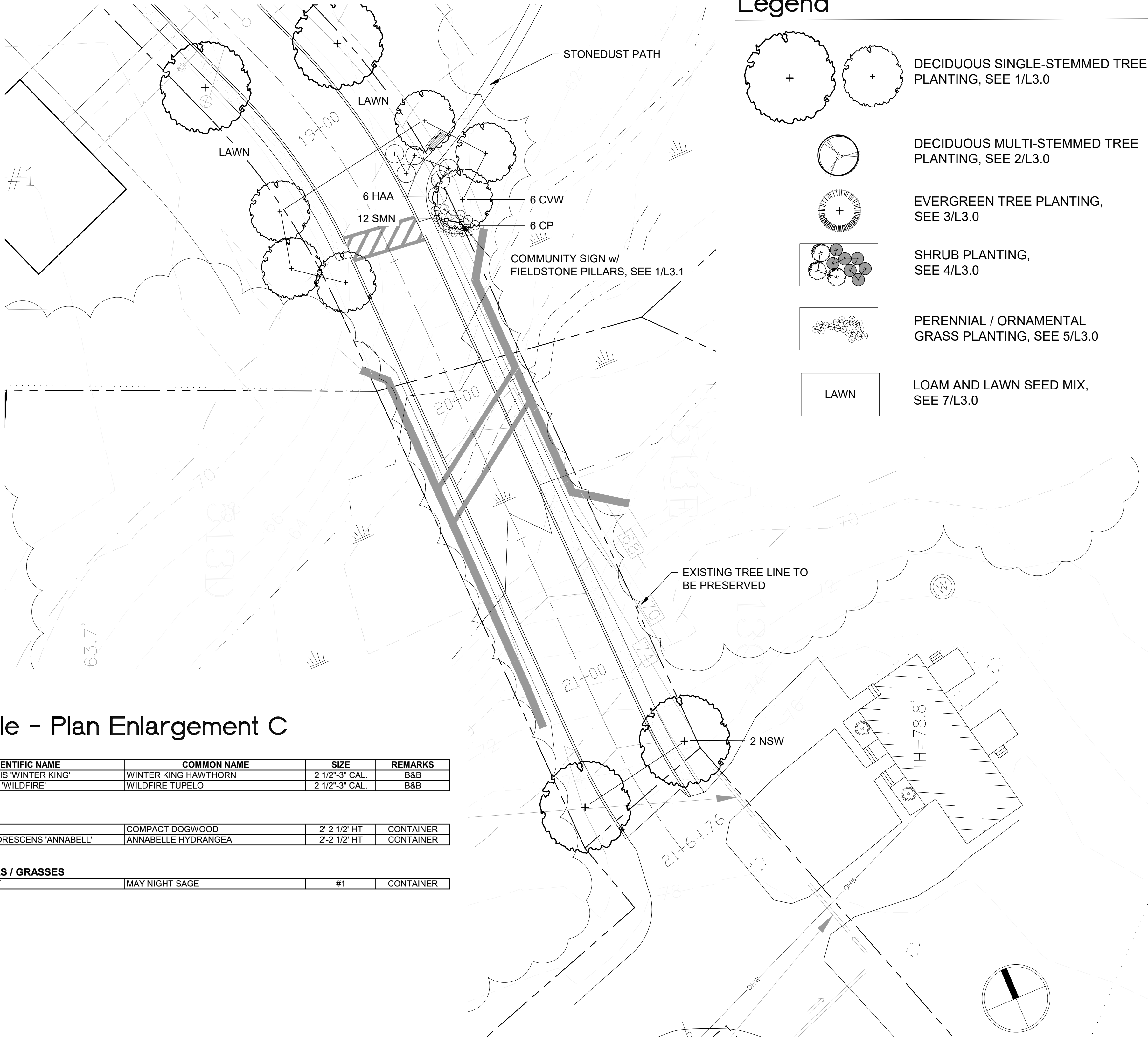
SHRUB PLANTING, SEE 4/L3.0



PERENNIAL / ORNAMENTAL GRASS PLANTING, SEE 5/L3.0

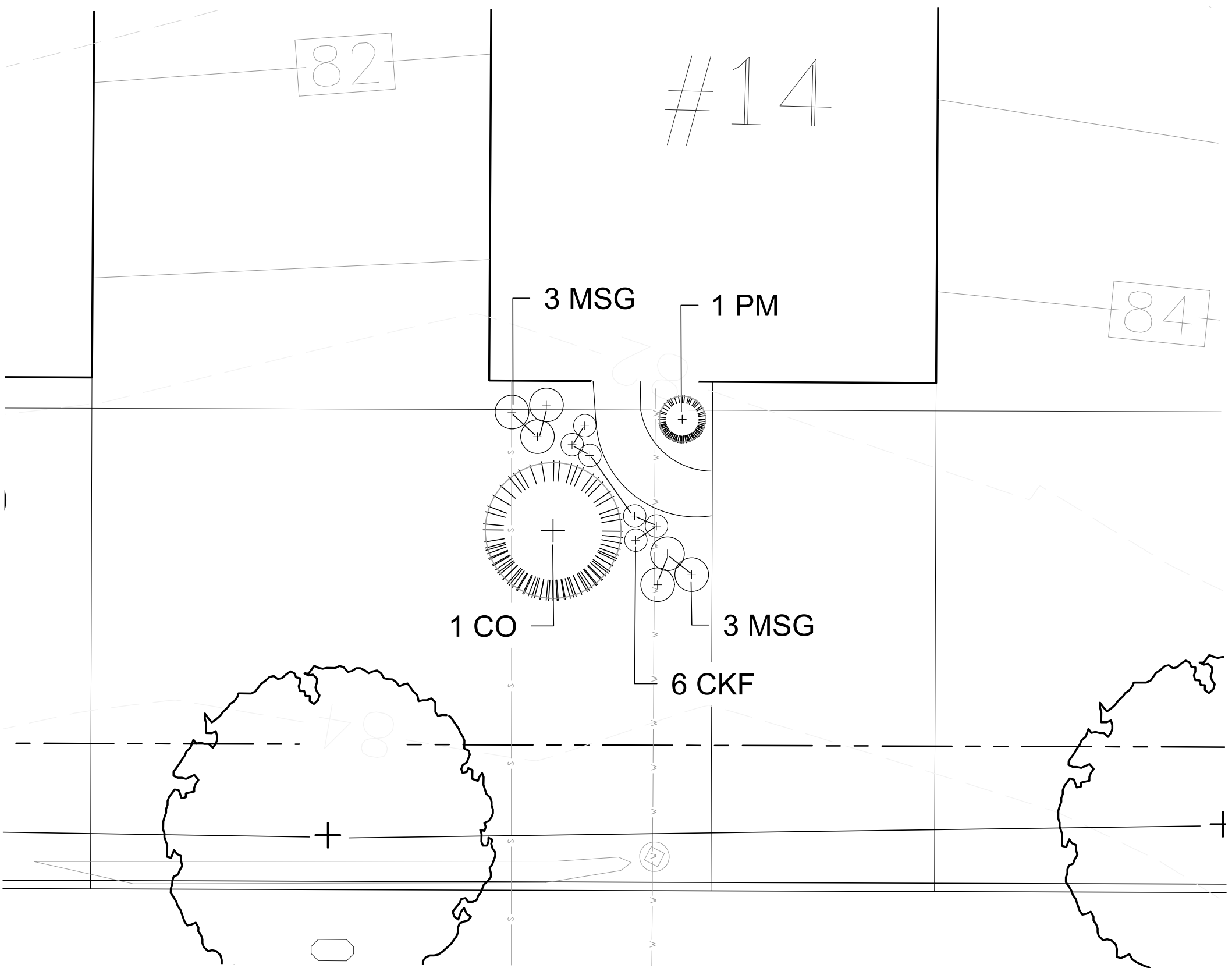


LAWN AND LAWN SEED MIX, SEE 7/L3.0



Plant Schedule - Enlargement Plan D: Alternative One

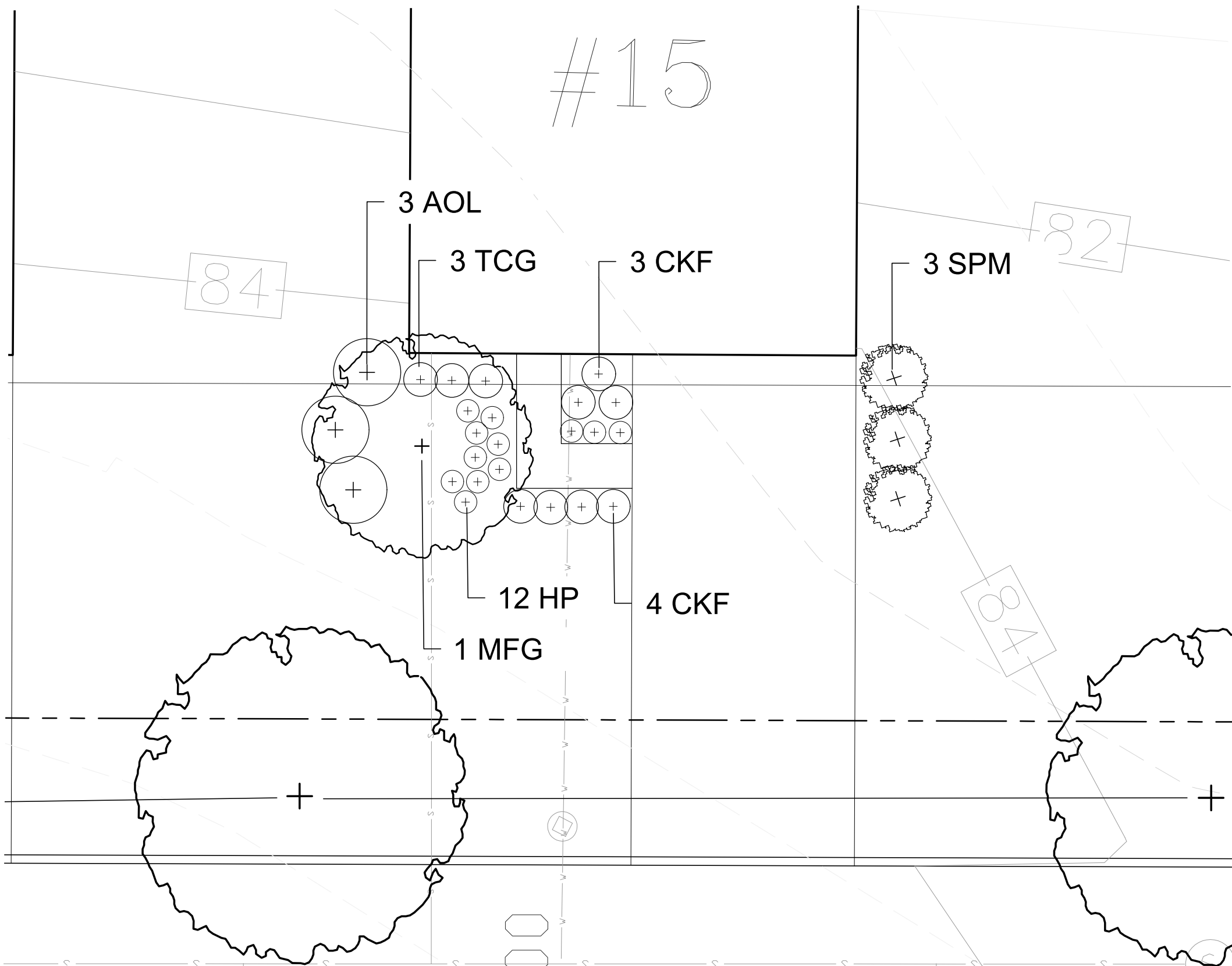
| EVERGREEN TREE | | | | | |
|----------------|-------|--------------------------------------|----------------------------------|------------|-----------|
| QTY. | ABRV. | SCIENTIFIC NAME | COMMON NAME | SIZE | REMARKS |
| 1 | CO | CHAMAECYPARIS OBTUSA | HINOKI FALSECYPRESS | 5'-6' HT | B&B |
| 1 | | | | | |
| SHRUBS | | | | | |
| 1 | PM | PINUS MUGO | MUGO PINE | 18"-24" HT | CONTAINER |
| 1 | | | | | |
| GRASSES | | | | | |
| 6 | CKF | CALAMAGROSTIS KARL FOERSTER | KARL FOERSTER FEATHER REED GRASS | #2 | CONTAINER |
| 6 | MSG | MISCANTHIS SINENESIS 'MORNING LIGHT' | MORNING LIGHT MAIDEN GRASS | #3 | CONTAINER |
| 12 | | | | | |



Alternative One

Plant Schedule - Enlargement Plan D: Alternative Two

| DECIDUOUS TREES | | | | | |
|-------------------------------------|-------|---------------------------------|-----------------------------|----------------|-----------|
| QTY. | ABRV. | SCIENTIFIC NAME | COMMON NAME | SIZE | REMARKS |
| 1 | MFG | MALUS FLORIBUNDA 'HARVEST GOLD' | HARVEST GOLD CRABAPPLE | 2 1/2"-3" CAL. | B&B |
| 1 | | | | | |
| SHRUBS | | | | | |
| 7 | CBM | CARYOPTERIS 'BLUE MIST' | BLUE MIST BLUEBEARD | | CONTAINER |
| 3 | SPM | SYRINGA PATULA 'MISS KIM' | MISS KIM LILAC | 2 1/2"-3' HT | B&B |
| 3 | AOL | AZALEA 'ORCHID LIGHTS' | ORCHID LIGHTS HYBRID AZALEA | 18"-24" HT | CONTAINER |
| 3 | TCG | TAXUS CUPIDATA 'GREENWAVE' | GREEN WAVE YEW | 2'-2 1/2' HT | CONTAINER |
| 16 | | | | | |
| GROUNDCOVERS / PERENNIALS / GRASSES | | | | | |
| 12 | HP | HUECHERA 'PURPLE PALACE' | BLUE WONDER CATMINT | #1 | CONTAINER |
| 12 | | | | | |



Alternative Two

Enlargement Plan D: Typical Front Yard Alternatives

Legend

DECIDUOUS SINGLE-STEMMED TREE PLANTING, SEE 1/L3.0

DECIDUOUS MULTI-STEMMED TREE PLANTING, SEE 2/L3.0

EVERGREEN TREE PLANTING, SEE 3/L3.0

SHRUB PLANTING, SEE 4/L3.0

PERENNIAL / ORNAMENTAL GRASS PLANTING, SEE 5/L3.0

LOAM AND LAWN SEED MIX, SEE 7/L3.0

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 - SEE SHEET L3 FOR LANDSCAPE DETAILS.
 - CONTACT DIGSAFE PRIOR TO BEGINNING WORK.

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TOWER PLACE RESIDENTIAL DEVELOPMENT
GREENLAND, NH 03840

JOSEPH FALZONE
7B EMERY LANE, STRATHAM, NH 03885

SHEET TITLE

LANDSCAPE PLAN

REVISION LOG

| REV# | DATE | DESCRIPTION |
|------|-------------------|---------------------|
| 1 | NOVEMBER 10, 2021 | PROJECT NO. 21048.0 |

DESIGN BY J. HYLAND / K. OSGOOD

DRAWN BY K. OSGOOD

CHECKED BY J. HYLAND

DATE NOVEMBER 10, 2021

SCALE

0' 10' 20'

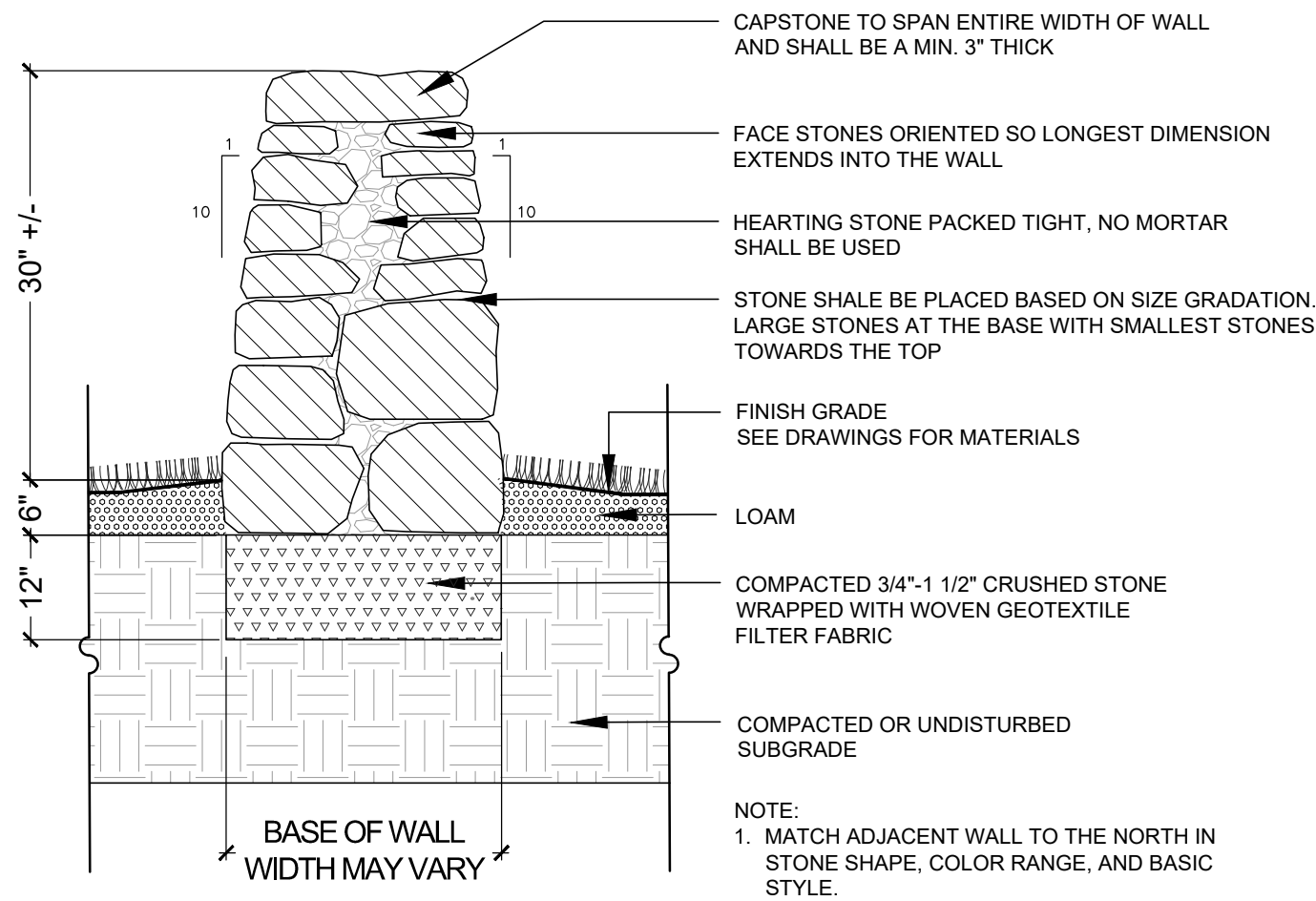
SCALE: 1" = 10'-0"

SEAL

L2.3

DRAWING SUBMITTED FOR TOWN REVIEW

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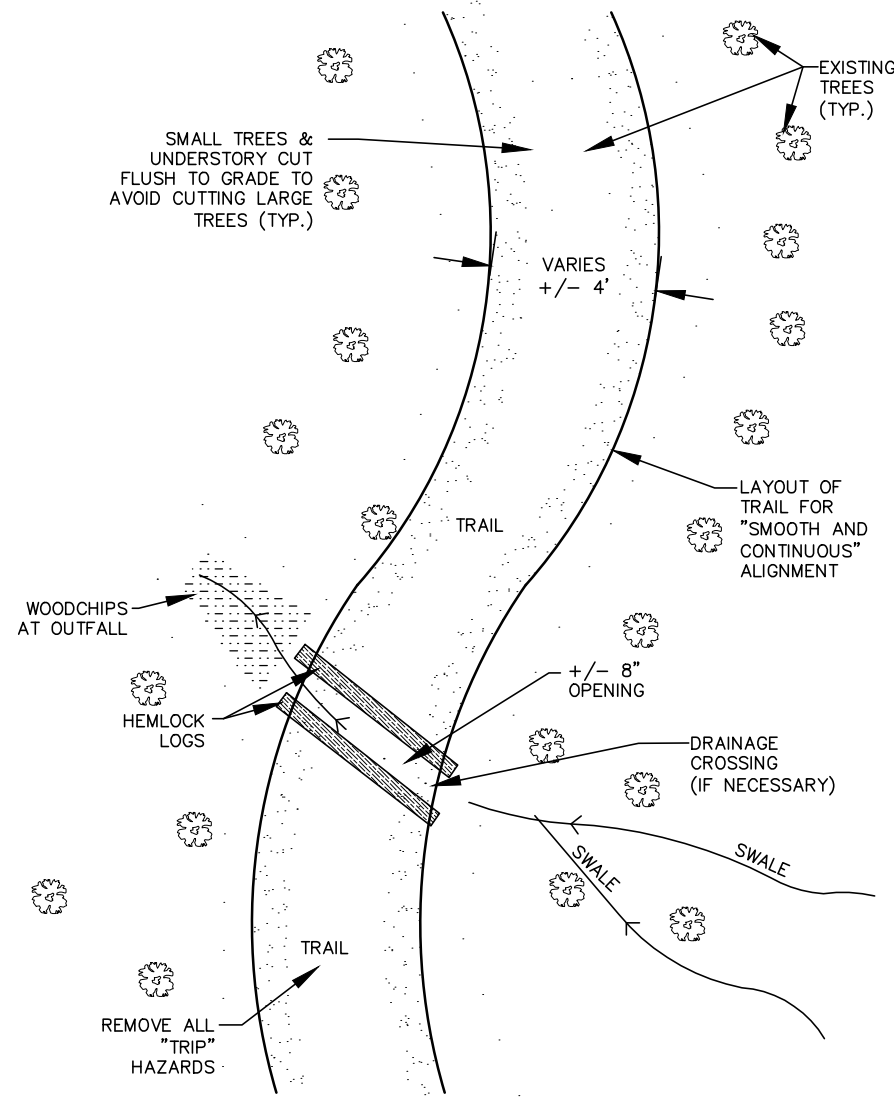


Fieldstone Pillars
Not to Scale

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1
L3.1

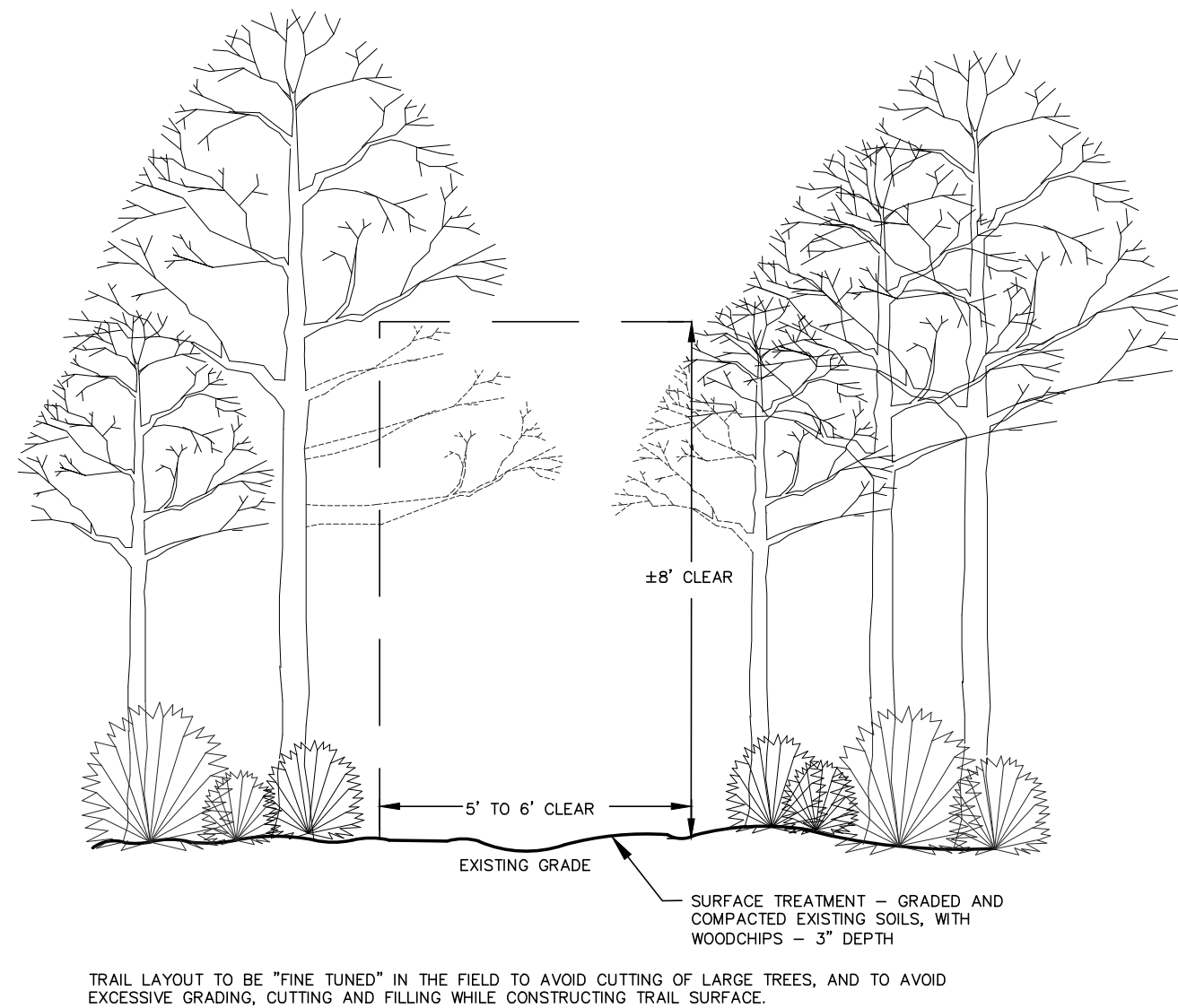
Typical Trail Layout
Not to Scale



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2
L3.1

Typical Trail Section
Not to Scale



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3
L3.1

SHEET TITLE

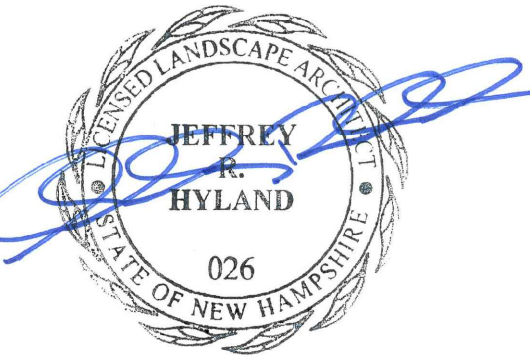
LANDSCAPE
PLAN

REVISION LOG

| | | |
|------|------|-------------|
| REV# | DATE | DESCRIPTION |
| 1 | | |
| 2 | | |
| 3 | | |

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| DESIGN BY | J. HYLAND / K. OSGOOD |
| DRAWN BY | K. OSGOOD |
| CHECKED BY | J. HYLAND |
| DATE | NOVEMBER 10, 2021 |
| SCALE | |

SEAL



L3.1